

22 January 2020

Coyle Planning
via email: coyleplanning@hotmail.com

Attn: John Coyle

Dear Mr Coyle

RE: – Change Application for Minor Change (Preliminary Approval - Subdivision) at Eva Street, KENSINGTON; land described as Lot 50 on SP291184;

Thank you for your Change Application for Minor Change (Preliminary Approval - Subdivision) at Eva Street, KENSINGTON; land described as Lot 50 on SP291184 lodged with Council on 06 September 2019.

Please find attached the Decision Notice for the above-mentioned Change Application.

Please quote Council's application number: 526.2019.148.1 in all subsequent correspondence relating to this development application. Should you require any clarification regarding this matter or wish to schedule a meeting, please contact Sarah Watts on telephone 1300 883 699.

Yours sincerely

Richard Jenner
Manager Development Assessment

ENCL.

- **DECISION NOTICE – Change Application**
- **APPROVED PLANS**



Decision notice — change application

(Given under section 83 of the Planning Act 2016)

Thank you for your Change Application made under section 78 of the *Planning Act 2016* received by the Bundaberg Regional Council on 06 September 2019 for the development approval dated 30 September 2009. Please be aware the Bundaberg Regional Council has assessed your application and decided it as follows:

1. Applicant's details

Name: Coyle Planning
Email: coyleplanning@hotmail.com

2. Location details

Street address: Eva Street, KENSINGTON
Real property description: Lot 50 on SP291184
Local government area: Bundaberg Regional Council

3. Details of Original Approval

Combined Application for –

Preliminary Approval Over-riding the Planning Scheme – which seeks to –

- identify assessable, self-assessable and exempt development; and
- provide a basis for assessing development applications in the plan area (ie introduce specific assessment criteria); and

Preliminary Approval for Material Change of Use (Master Planned Residential Community) – area 114.5 hectares; and

Preliminary Approval for Reconfiguring a Lot (and the extension of Eggmolesse Street) associated with new access arrangements and the Master Planned Residential Community; and

Preliminary Approval for Operational Works (Associated with the proposed lot reconfiguration, landscaping and roads); and

Preliminary Approval for Building Works.

Preliminary Approval for Reconfiguring a Lot – Stage 1 – 69 lots, new road, balance area

Date of Approval: 15 December 2010
Application Number: 325.2007.18601.4

4. Details of the proposed development

Preliminary Approval for Change Application Minor Change –

Preliminary Approval Over-riding the Planning Scheme – which seeks to –

- identify assessable, self-assessable and exempt development; and
- provide a basis for assessing development applications in the plan area (ie introduce specific assessment criteria); and

Preliminary Approval for Material Change of Use (Master Planned Residential Community) – area 114.5 hectares; and

Preliminary Approval for Reconfiguring a Lot (and the extension of Eggmolesse Street) associated with new access arrangements and the Master Planned Residential Community; and

Preliminary Approval for Operational Works (Associated with the proposed lot reconfiguration, landscaping and roads); and

Preliminary Approval for Building Works.

Preliminary Approval for Reconfiguring a Lot – Stage 1 – 69 lots, new road, balance area

5. Decision for change application

Date of decision: 17 January 2020

Decision details: Make the change and amend existing conditions. Please refer to Schedule 1.

The changes agreed to are:

1. Change to approved plans list including POD document to allow for Relocatable home parks as a code assessable use
2. Change to condition 8, 10, 14, 15, 15.1 and 16 to facilitate staging
3. Inclusion of additional conditions 8A and 14 A to facilitate staging

6. Rights of appeal

The rights of applicants to appeal to a tribunal or the Planning and Environment Court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

A copy of the relevant appeal provisions are included in Schedule 2.

SCHEDULE 1 EXISTING APPROVAL INCORPORATING CHANGES

15 December 2009

Insite Strategies Pty Ltd
PO Box 471
BUNDABERG QLD 4670

Attn: Mr John Coyle

Dear Mr Coyle,

Development Application Decision Notice

Approval

Integrated Planning Act 1997 Section 3.5.15

This Decision Notice includes changes approved on 23 November 2016. Changes are in ***bold italics***.

RE: – **Development Application for–**

- A. *Preliminary Approval Over-riding the Planning Scheme – which seeks to –
- identify assessable, self-assessable and exempt development; and
- provide a basis for assessing development applications in the plan area
(i.e. introduce specific assessment criteria); and*
- B. *Preliminary Approval for Material Change of Use (Master Planned Residential Community) – area 114.5 hectares; and*
- C. *Preliminary Approval for Reconfiguring a Lot (and the extension of Eggmolesse Street) associated with new access arrangements and the Master Planned Residential Community; and*
- D. *Preliminary Approval for Operational Works (Associated with the proposed lot reconfiguration, landscaping and roads); and*
- E. *Preliminary Approval for Building Works.*
- F. *Development Permit for Reconfiguring a Lot (Stage 1)*

for Residential Master Planned Community at Johanna Boulevard, and off Eggmolesse Street, Kensington, Bundaberg – land described as Part of Lot 2 on SP177129 and Lot 184 on SP104394, County Cook, Parish Bundaberg

Planning Scheme for Bundaberg City

I refer to the above-described development application, received by Council on 15 May 2007. This application has been assessed by Council and approved to the extent detailed hereunder with conditions at Council's Meeting held on 15 December 2009.

1. Details of Approval

Preliminary Approval Over-riding the Planning Scheme – which seeks to –
- identify assessable, self-assessable and exempt development; and
- provide a basis for assessing development applications in the plan area (ie introduce specific assessment criteria); and

Preliminary Approval for Material Change of Use (Master Planned Residential Community) – area 114.5 hectares; and

Preliminary Approval for Reconfiguring a Lot (and the extension of Eggmolesse Street) associated with new access arrangements and the Master Planned Residential Community; and

Preliminary Approval for Operational Works (Associated with the proposed lot reconfiguration, landscaping and roads); and

Preliminary Approval for Building Works.

Preliminary Approval for Reconfiguring a Lot – Stage 1 – 69 lots, new road, balance area

2. Referral Agencies

Concurrence Agencies: **State Controlled Road Matters**
Queensland Department of Main Roads
PO Box 486
BUNDABERG Q. 4670

Transport
Queensland Department of Transport
Principal Manager (Land Use)
GPO Box 213
BRISBANE Q. 4001

Vegetation Management
Department of Natural Resources & Mines
PO Box 1167
BUNDABERG 4670

Advice Agencies: **Preliminary Approval Overriding the Planning Scheme- Section 3.1.6 of IPA**
Department of Local Government, Planning, Sport and Recreation – Statutory Planning
PO Box 10531
CITY EAST 4001

Vegetation Management

(GQAL and Cultural Heritage)

Department of Natural Resources & Mines

PO Box 1167

BUNDABERG 4670

3. Approved Plans

Plan/Document Number	Plan/Document Name	Prepared By	Date
POD 3 – Rev 4	Plan of Development 3- Kensington Master Planner Community	John Coyle	02 November 2019
A3 5481 Rev B	Structure Plan	DTS Group	19/9/19
A3 5482 Rev B	Precinct Plan	DTS Group	19/9/19
A3 5483 Rev B	Conceptual Master Plan	DTS Group	19/9/19
A3 5484 Rev B	Residential Multi-unit overlay area plan	DTS Group	19/9/19
P1502.DWG.005 (a)	Streetscape Design- Trunk Collector	Insite Strategies Pty Ltd	
P1502.DWG.005 (b)	Streetscape Design- Trunk Collector	Insite Strategies Pty Ltd	
P1502.DWG.006 (a)	Streetscape Design- Collector Street	Insite Strategies Pty Ltd	
P1502.DWG.006 (b)	Streetscape Design- Collector Street	Insite Strategies Pty Ltd	
P1502.DWG.007 (a)	Streetscape Design- Access Street	Insite Strategies Pty Ltd	
P1502.DWG.007 (b)	Streetscape Design- Access Street	Insite Strategies Pty Ltd	
P1502.DWG.008 (a)	Streetscape Design-Access Plane	Insite Strategies Pty Ltd	
P1502.DWG.008 (b)	Streetscape Design-Access Plane	Insite Strategies Pty Ltd	
A3 5521 Rev A	Village Centre Concept Plan	DTS Group	5/03/2018
P1502.DWG.0010 (a)	Plant Palette- Trees and Palms		

P1502.DWG.0010 (b)	Plant Palette- Shrubs		
P1502.DWG.0010 (c)	Plant Palette- Groundcovers and Grass		
Drawing 1 of 3	Metes and Bounds- Key Plan		September 2019
Drawing 2 of 3	Metes and Bounds Plan- Lot 2		September 2019
Drawing 3 of 3	Metes and Bounds Plan- Lot 1		September 2019
A1 1222	Stage 1 and 1A preliminary Reconfiguration Plan	DTS Group	18/09/2019

4. Assessment Manager's Conditions and Advices

Assessment Manager's Conditions: As per attached Schedule 1.
 Assessment Manager's Advices: As per attached Schedule 2.

5. Referral Agency's Response

Concurrence Agencies:

Queensland Department of Main Roads

- o By letter dated 18 June 2007 requested further information
- o The applicant responded to this Information Request on the 18 June 2008
 - Department of Main Roads by Referral (concurrence) Agency Response dated 14 August 2008 advise their requirements.

Queensland Transport

- o By letter dated 26 June 2007 requested further information
- o The applicant responded to this information request on 18 June 2008.
- o Queensland Transport by Concurrence Agency Response dated 1 August 2008 advised their requirements.

Department of Natural Resources and Water

- o By Referral Agency Response letter dated 14 August 2007 provided concurrence agency response with respect to Vegetation Management.

Advice Agencies:

Department of Natural Resources and Water

- o Third Party Advice in respect to Good Quality Agricultural Land and Aboriginal Cultural Heritage issues
- o By Referral Agency Response dated 2 July 2008, Queensland Department of Natural Resources and Water provided third party advice with respect to

Aboriginal Cultural Heritage, as well as Concurrence Agency conditions in respect to Vegetation Management.

Department of Local Government, Planning, Sport and Recreation

- o By Third Party Advice Agency request dated 16 July 2007, this agency provided Council with Advice Agency Advice.

6. Submissions

There were (3) properly made submissions about the application. It being noted, the submission received by Dillon Folker Stephens Pty Ltd was withdrawn prior to deciding this application. In accordance with s 3.5.15(2)(j) of the IPA, the name and address of the remaining principal submitters for each properly made submission are as follows:-

Name of Principal Submitter	Address
Santalucia Corporation Pty Ltd	301 Goodwood Road, Bundaberg, QLD 4670
Queensland Government- Department of Infrastructure and Planning	PO Box 15009, City East Queensland 4002

7. Rights of Appeal

Attached is an extract from the *Integrated Planning Act 1997* which details your appeal rights regarding this decision.

8. When the Development Approval Takes Effect

This development approval takes effect as per set out by s 3.5.19 of the *Integrated Planning Act 1997*.

Yours faithfully

Peter Byrne
Chief Executive Officer

Enclosures: Schedule 1 – Assessment Manager’s Conditions;
Schedule 2 – Assessment Manager’s Advices;
Concurrence Agency’s Conditions;
Approved Plans;
Extract from the *Integrated Planning Act 1997*.

cc. For Information Purposes

Queensland Department of Main Roads
PO Box 486
BUNDABERG Q. 4670

Queensland Department of Transport
Principal Manager (Land Use)
GPO Box 213
BRISBANE Q. 4001

Department of Natural Resources & Mines
PO Box 1167
BUNDABERG 4670

Department of Local Government, Planning, Sport
and Recreation – Statutory Planning
PO Box 10531
CITY EAST 4001

**Schedule 1
Assessment Manager's Conditions**

Preliminary Approval for Residential Master Planned Community at Johanna Boulevard, and off Eggmolesse Street, Kensington, Bundaberg – land described as Part of Lot 2 on SP177129 and Part of Lot 184 on SP104394, County Cook, Parish Bundaberg – Impact Assessment

Council Reference:	325.2007.18601.1
Development Permit Date:	15 December 2009
Applicant:	Insite Strategies Pty Ltd
Property Owner:	Pressler Properties Pty Ltd
Real Property Description:	Lot: 2 SP: 177129 [now described as Lot 2 on SP213318] and Lot 184 on SP104394, County Cook, Parish Bundaberg
Location:	Johanna Boulevard KENSINGTON
Approved Use:	Residential Master Planned Community
Planning Scheme:	Bundaberg City Plan
Land Designation:	Non-urban (Local Area 2)

Development Conditions

General

1. All works are to be undertaken at the Developer's expense;
2. The developer shall comply with the requirements of the Plan of Development (POD3) and Council codes and requirements at the time of development;

Approved Plans

3. The proposed development is to be generally constructed in accordance with Conditions contained within this notice and the following Approved Plans;

Plan/Document Number	Plan/Document Name	Prepared By	Date
POD 3 – Rev 4	Plan of Development 3- Kensington Master Planner Community	John Coyle	02 November 2019
A3 5481 Rev B	Structure Plan	DTS Group	19/9/19
A3 5482 Rev B	Precinct Plan	DTS Group	19/9/19
A3 5483 Rev B	Conceptual Master Plan	DTS Group	19/9/19
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P1502.DWG.006 (a)	Streetscape Design- Collector Street	Insite Strategies Pty Ltd	
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P1502.DWG.007 (a)	Streetscape Design- Access Street	Insite Strategies Pty Ltd	
P1502.DWG.007 (b)	Streetscape Design- Access Street	Insite Strategies Pty Ltd	
P1502.DWG.008 (a)	Streetscape Design-Access Plane	Insite Strategies Pty Ltd	
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A1 1222	Stage 1 and 1A preliminary Reconfiguration Plan	DTS Group	18/09/2019

Infrastructure Contributions

4. Infrastructure charges shall be payable in accordance with Councils Infrastructure Charges Policy current at the time of each stage of development;

Currency Period

- 5 The plan of development (POD3) takes effect on the day the Application is approved.

Currency Period

6. ***The relevant period of this approval is increased as follows:***
- a) ***Where section 3.5.21 (1) (a) of the act states a relevant period of 4 years for a development approval for a material change of use, this is increased in accordance with section 3.5.21 (1) (b) to be the period ending 15 December 2026;***
 - b) ***Where section 3.5.21 (2) (a) of the act states a relevant period of 2 years for applications for lot reconfiguring not requiring operational works, this is increased in accordance with 3.5.21 (2) (c) to 5 years (now lapsed);***
 - c) ***Where section 3.5.21 (2) (b) of the act states a relevant period of 4 years for lot reconfiguring requiring operational works, this is increased in accordance with section 3.5.21 (2) (c) to be the period ending 15 December 2026;***
 - d) ***Where section 3.5.21 (3) (a) of the act states a relevant period of 2 years for development approvals other than for a material change of use or reconfiguring a lot, this is increased in accordance with section 3.5.21 (3) (b) to 4 years (now lapsed);***

Water Supply

7. Each allotment shall be connected to Council's reticulated water supply system to provide potable and fire water to Council's service levels in accordance with a network layout approved by Council. The Developer shall bear all costs associated with the provision of internal and external infrastructure required in accordance with the former Bundaberg City Council's 'Bundaberg City Engineering Design Planning Scheme Policy';

Sewerage

8. The Applicant shall construct a 375 mm dia trunk sewer line to connect to Council's Pump Station on Lot 19 on SP157729. **The sewer line shall service the entire development area on Proposed Lot 52.** This requirement may be fulfilled by extending the existing 375 mm dia trunk sewer line that currently terminates at Lot 3 on SP220641, **to the boundary of Proposed Lot 52.** The work shall be constructed at the first stage of development on Proposed Lot 52.
- 8A **The applicant is to do all necessary works to connect stage 1A lots into the existing sewerage network in stage 4 to the north.**
9. Each allotment is to be connected to Council's sewer reticulation system. All sewerage infrastructure is to be constructed in accordance with the former Bundaberg City Council's 'Bundaberg City Engineering Design Planning Scheme

Policy' or other adopted Council policy at the time of development. All sewerage reticulation shall be by gravity sewerage discharging directly to the trunk sewer;

10. A sewerage reticulation master plan shall be submitted at stage 1 of the development **of Proposed Lot 52** for Council's approval

Stormwater

11. A stormwater drainage system, consisting all external and internal infrastructure, and including all surface, underground and roof water components, is to be provided to the proposed allotments in accordance with requirements of the Queensland Urban Drainage Manual (QUDM), Bundaberg City Plan, the former Bundaberg City Council's 'Bundaberg City Engineering Design Planning Scheme Policy' and other applicable State and Council codes and requirements at the time of development;
12. Onsite stormwater detention is to be provided to limit discharges to Saltwater Creek and its tributaries such that no increase in flood levels results at any point downstream for all events up to 100 year ARI;
13. Provision of stormwater infrastructure shall incorporate Water Sensitive Urban Design (WSUD) principles in accordance with the State Planning Policy for Healthy Waters and other applicable State and Council codes and requirements at the time of development;
14. Prior to approval of stage 1 of development **of proposed lot 52**, submission of a stormwater drainage master plan and modelling using Council's SWMM-TUFLOW model demonstrating how the above objectives are to be achieved. MUSIC modelling will be required to demonstrate how stormwater quality requirements are to be achieved.
- 14A **Design and implement a stormwater drainage system connecting to the lawful point of discharge in accordance with the applicable Planning scheme codes and the Planning scheme policy for development works for stage 1A.**

Roadworks and Car Parking

15. The developer shall provide the road reserve and roadway pavements in accordance with the Kensington Master Planned Community Plan of Development 3. The layout shall generally be in accord with Kensington Master Planned Community Structure Plan **A3 5481 Issue B** as amended by these conditions;
 - 15.1 The trunk collector being the extension of Johanna Boulevard from its existing termination to its intersection with the extension of Eggmolesse Street shall be constructed with a 4 lane pavement divided by landscaped median similar to stage 4 construction to which it connects **when traffic volumes within Proposed Lot 52 warrant such upgrade.**;
 - 15.2 The developer shall construct the road reserve abutting the eastern boundary of the proposed development to the following standard. This shall be constructed on an agreed staging basis with:-

Kerb and channel to the development side of the pavement;

Pavement with asphalt surfacing to a width of 6 meters;

Intersections

- 16 Prior to any further development **of Proposed Lot 52** being granted approval on the site, the developer shall enter into an infrastructure agreement with Council to contribute to the upgrading/ construction of the following intersections and carriageways;

Intersections

Commercial Avenue / Johanna Boulevard – upgrade of signalised intersection
Enterprise Street / Commercial Avenue – Upgrade to signalised intersection
Enterprise Street / Maynard Street / Branyan Street / Fitzgerald Street – Upgrade to signalised intersection
Maynard St / Maryborough Street – Upgrade to signalised intersection
Eggmosses Street / Fitzgerald Street – Upgrade to single lane roundabout
Fitzgerald Street / Thabeban Street / Kay McDuff Drive / Edenbrook Entrance Upgrade to signalised intersection
Thabeban Street / Clayton Road – Turn Treatments

Carriageways

Eggmosses Street
Carriageway abutting the eastern boundary of the site (recognising the construction required above)

- 16A ***Development on any lot in stage 1A is required to ameliorate any impacts on the road network caused by traffic generated by the development proposed on that lot.***

Fire Break Buffers

17. Provision of bushfire setbacks in accordance with the *State Planning Policy 1/03: Mitigating the Adverse Impacts of Flood, Bushfire and Landslide* and other applicable State and Council codes and requirements at the time of development.

Filling of Land

18. Placement of fill material within the subject land as part of the development works shall comply with Bundaberg City Council's planning Scheme "Filling and Excavation Code". All fill material to be placed on the subject lots shall be tested and structurally certified in accordance with this Code. Such certification is to be provided prior to Council's endorsement of any Final Plan of Survey.

End of Schedule 1

**Schedule 2
Assessment Manager's Advices**

Preliminary Approval for Residential Master Planned Community at Johanna Boulevard, and off Eggmolesse Street, Kensington, Bundaberg – land described as Part of Lot 2 on SP177129 and Part of Lot 184 on SP104394, County Cook, Parish Bundaberg – Impact Assessment

Council Reference:	325.2007.18601.1
Development Permit Date:	15 December 2009
Applicant:	Insite Strategies Pty Ltd
Property Owner:	Pressler Properties Pty Ltd
Real Property Description:	Lot: 2 SP: 177129 [now described as Lot 2 on SP213318] and Lot 184 on SP104394, County Cook, Parish Bundaberg
Location:	Johanna Boulevard KENSINGTON
Approved Use:	Residential Master Planned Community
Planning Scheme:	Bundaberg City Plan
Land Designation:	Non-urban (Local Area 2)

Development Advice

Rates and Charges

- A. In accordance with the Integrated Planning Act, all rates, charges or any expenses being a charge over the subject land under any Act shall be paid prior to the Plan of Survey being endorsed by Council.

SCHEDULE 2 – PA EXTRACT ON APPEAL RIGHTS

CHAPTER 6, PART 1 APPEAL RIGHTS

229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
 - (a) matters that may be appealed to—
 - (i) either a tribunal or the P&E Court; or
 - (ii) only a tribunal; or
 - (iii) only the P&E Court; and
 - (b) the person—
 - (i) who may appeal a matter (the appellant); and
 - (ii) who is a respondent in an appeal of the matter; and
 - (iii) who is a co-respondent in an appeal of the matter; and
 - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The **appeal period** is—
 - (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
 - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
 - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or
 - (d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
 - (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
 - (f) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note — See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.
- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
 - (a) the adopted charge itself; or
 - (b) for a decision about an offset or refund—
 - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
 - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

230 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
 - (a) is in the approved form; and
 - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar must, within the service period, give a copy of the notice of appeal to—

- (a) the respondent for the appeal; and
 - (b) each co-respondent for the appeal; and
 - (c) for an appeal about a development application under schedule 1, table 1, item 1—each principal submitter for the development application; and
 - (d) for an appeal about a change application under schedule 1, table 1, item 2—each principal submitter for the change application; and
 - (e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and
 - (f) for an appeal to the P&E Court—the chief executive; and
 - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The **service period** is—
- (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
 - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.

SCHEDULE 1 APPEALS

1 Appeal rights and parties to appeals

- (1) Table 1 states the matters that may be appealed to—
- (a) the P&E court; or
 - (b) a tribunal.
- (2) However, table 1 applies to a tribunal only if the matter involves—
- (a) the refusal, or deemed refusal of a development application, for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (b) a provision of a development approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (c) if a development permit was applied for—the decision to give a preliminary approval for—
 - (i) a material change of use for a classified building; or
 - (ii) operational work associated with building work, a retaining wall, or a tennis court; or
 - (d) a development condition if—
 - (i) the development approval is only for a material change of use that involves the use of a building classified under the Building Code as a class 2 building; and
 - (ii) the building is, or is proposed to be, not more than 3 storeys; and
 - (iii) the proposed development is for not more than 60 sole-occupancy units; or
 - (e) a decision for, or a deemed refusal of, an extension application for a development approval that is only for a material change of use of a classified building; or
 - (f) a decision for, or a deemed refusal of, a change application for a development approval that is only for a material change of use of a classified building; or
 - (g) a matter under this Act, to the extent the matter relates to—
 - (i) the Building Act, other than a matter under that Act that may or must be decided by the Queensland Building and Construction Commission; or
 - (ii) the Plumbing and Drainage Act, part 4 or 5; or

- (h) a decision to give an enforcement notice in relation to a matter under paragraphs (a) to (g); or
 - (i) a decision to give an infrastructure charges notice; or
 - (j) the refusal, or deemed refusal, of a conversion application; or
 - (k) a matter that, under another Act, may be appealed to the tribunal; or
 - (l) a matter prescribed by regulation.
- (3) Also, table 1 does not apply to a tribunal if the matter involves—
- (a) for a matter in subsection (2)(a) to (d)—
 - (i) a development approval for which the development application required impact assessment; and
 - (ii) a development approval in relation to which the assessment manager received a properly made submission for the development application; or
 - (b) a provision of a development approval about the identification or inclusion, under a variation approval, of a matter for the development.
- (4) Table 2 states the matters that may be appealed only to the P&E Court.
- (5) Table 3 states the matters that may be appealed only to the tribunal.
- (6) In each table—
- (a) column 1 states the appellant in the appeal; and
 - (b) column 2 states the respondent in the appeal; and
 - (c) column 3 states the co-respondent (if any) in the appeal; and
 - (d) column 4 states the co-respondents by election (if any) in the appeal.
- (7) If the chief executive receives a notice of appeal under section 230(3)(f), the chief executive may elect to be a co-respondent in the appeal.

Extract of Schedule 1 of the Planning Act 2016

Table 1			
Appeals to the P&E Court and, for certain matters, to a tribunal			
2. Change applications An appeal may be made against— <ul style="list-style-type: none"> (a) a responsible entity’s decision for a change application, other than a decision made by the P&E court; or (b) a deemed refusal of a change application. 			
Column 1 Appellant	Column 2 Respondent	Column 3 Co-respondent (if any)	Column 4 Co-respondent by election (if any)
1 The applicant 2 If the responsible entity is the assessment manager—an affected entity that gave a pre-request notice or response notice	The responsible entity	If an affected entity starts the appeal—the applicant	1 A concurrence agency for the development Application 2 If a chosen assessment manager is the respondent—the prescribed assessment manager 3 A private certifier for the development application 4 Any eligible advice agency for the change application 5 Any eligible submitter for the change application

Note:

Attached is a Rights of Appeal Waiver form (Schedule 3). Please complete and return this form if you are satisfied with the approval and agree to the conditions contained therein and you wish to waive the 20 day appeal period available under the *Planning Act 2016*.

SCHEDULE 3 – RIGHT OF APPEAL WAIVER



Mail To: Bundaberg Regional Council
Email Address: development@bundaberg.qld.gov.au
Attention: Development Assessment

RE:

Council reference: 526.2019.148.1

Property Address: Eva Street, KENSINGTON; land described as Lot 50 on SP291184

This advice is to confirm that I/We have received the above approval and agree to the conditions contained therein. I/We hereby waiver My/Our appeal rights available under the *Planning Act 2016*.

Applicants Name: _____

Signature: _____





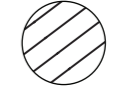


Date : _____

APPROVED PLAN

Date: 17/01/2020

Application No.: 526.2019.148.1



-  Master Planned Community
-  Town Park
-  Roads Trunk Collector
-  Collector Streets
-  General Location of Village Centre
-  Air Park Residential
-  Indicative Location of Bus Stop



Issue	Revision	Int	Date
A	Original issue	AV	15/12/17
B	Removed road from super park	AV	19/09/19

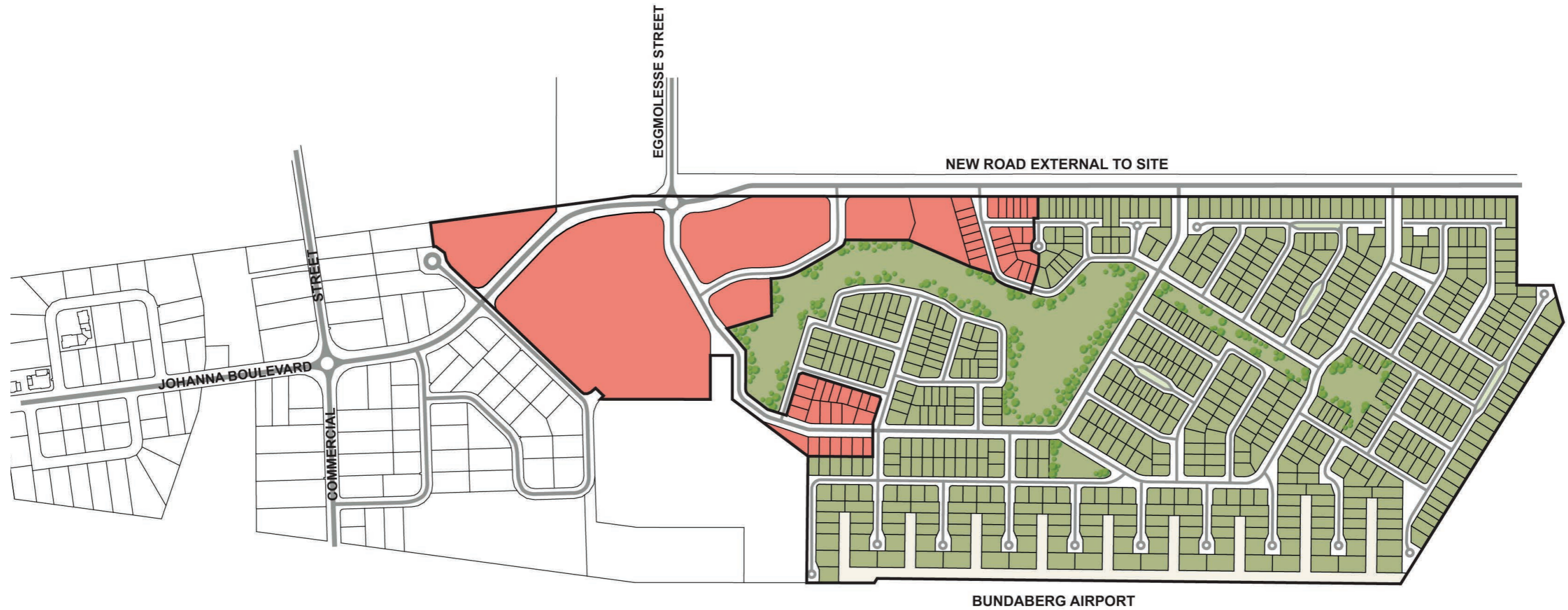
APPROVED PLAN

Date: 17/01/2020

Application No.: 526.2019.148.1



	Mixed Use Precinct
	Residential Precinct



Issue	Revision	Int	Date
A	Original issue	AV	15/12/17
B	Removed road from super park	AV	19/09/19

APPROVED PLAN

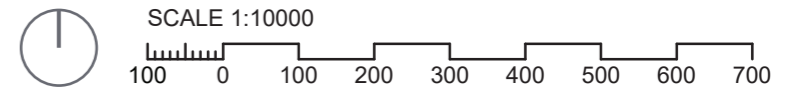
Date: 17/01/2020

Application No.: 526.2019.148.1



	Mixed Use - Village Centre; Retirement Village; Apartment Buildings; and Residential Community Title
	Residential Lots 400m ² to 800m ² approx
	Air Park Residential Lots 800m ² to 1500m ² approx
	Town Park

Issue	Revision	Int	Date
A	Original issue	AV	15/12/17
B	Removed road from super park	AV	19/09/19

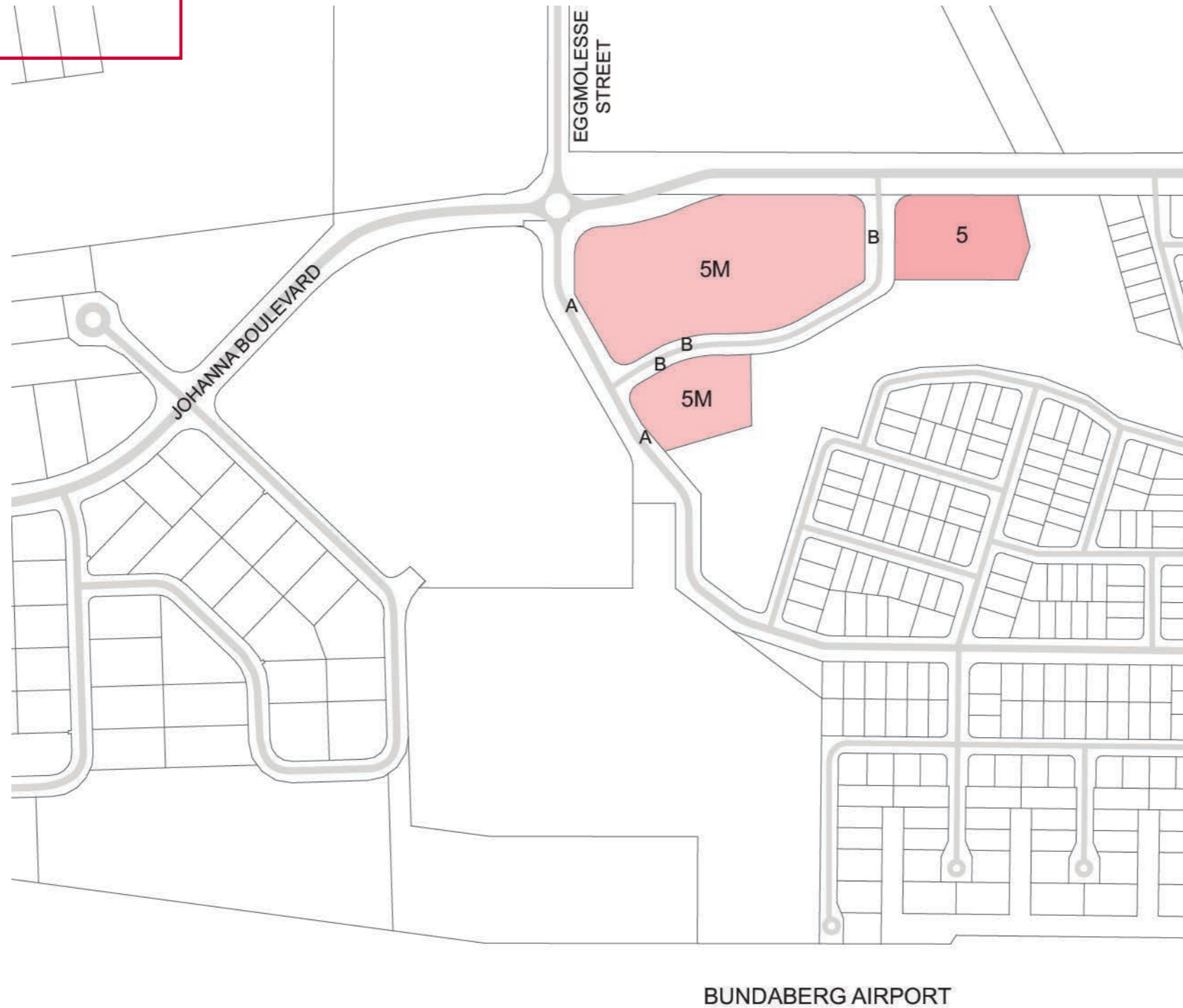


This plan has been prepared by DTS as a proposal plan and should not be used for any other purpose. The information contained on this plan is approximate only, has not been verified and may be subject to change. The intellectual property on this plan remains the property of DTS.

APPROVED PLAN

Date: 17/01/2020

Application No.: 526.2019.148.1

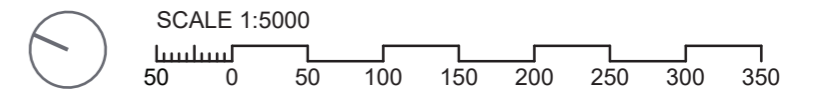


- 5** Area in which residential multi-unit buildings are allowable by code assessable application to the number of stories shown and in accordance with the provisions set out in the Mixed Use code
- 5M** Residential multi-unit buildings with potential for non residential use at ground and first floor level, maximum number of stories (5)
- A** Building setback in accordance with S 24.1 (i) of the Kensington Mixed Use code
- B** Building setback in accordance with S 24.1 (ii) of the Kensington Mixed Use code

Issue	Revision	Int	Date
A	Original issue	AV	15/12/17
B	Removed road from super park	AV	19/09/19

Residential Multi-Unit Overlay Area Plan
 Kensington Master Planned Community

Description Lot 50 on SP291184
 Local Authority Bundaberg Regional Council



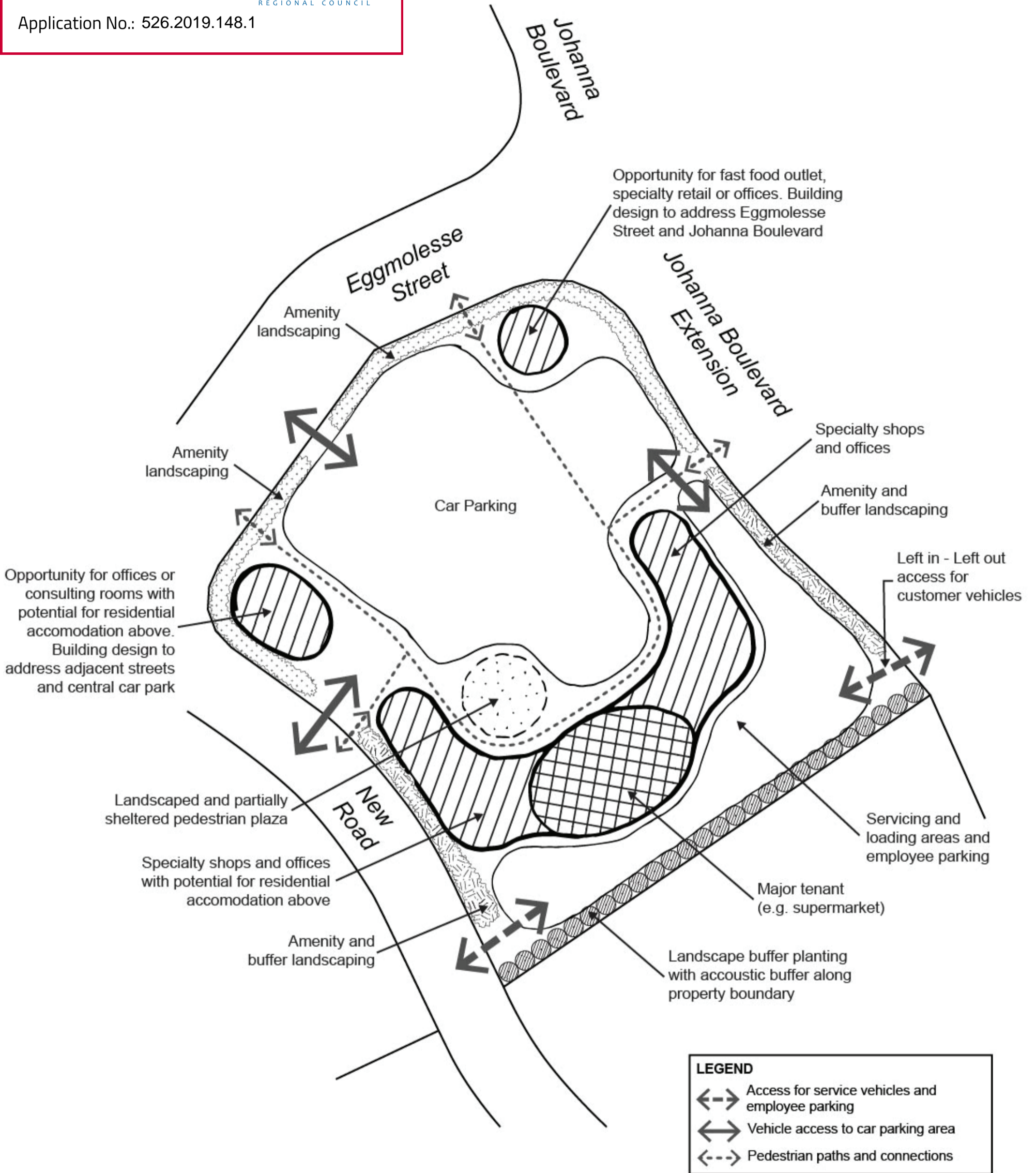
This plan has been prepared by DTS as a proposal plan and should not be used for any other purpose. The information contained on this plan is approximate only, has not been verified and may be subject to change. The intellectual property on this plan remains the property of DTS.

Project BNE170765 Drawing A3 5484
 Date 19/09/2019 Revision B

APPROVED PLAN

Date: 17/01/2020

Application No.: 526.2019.148.1



LEGEND

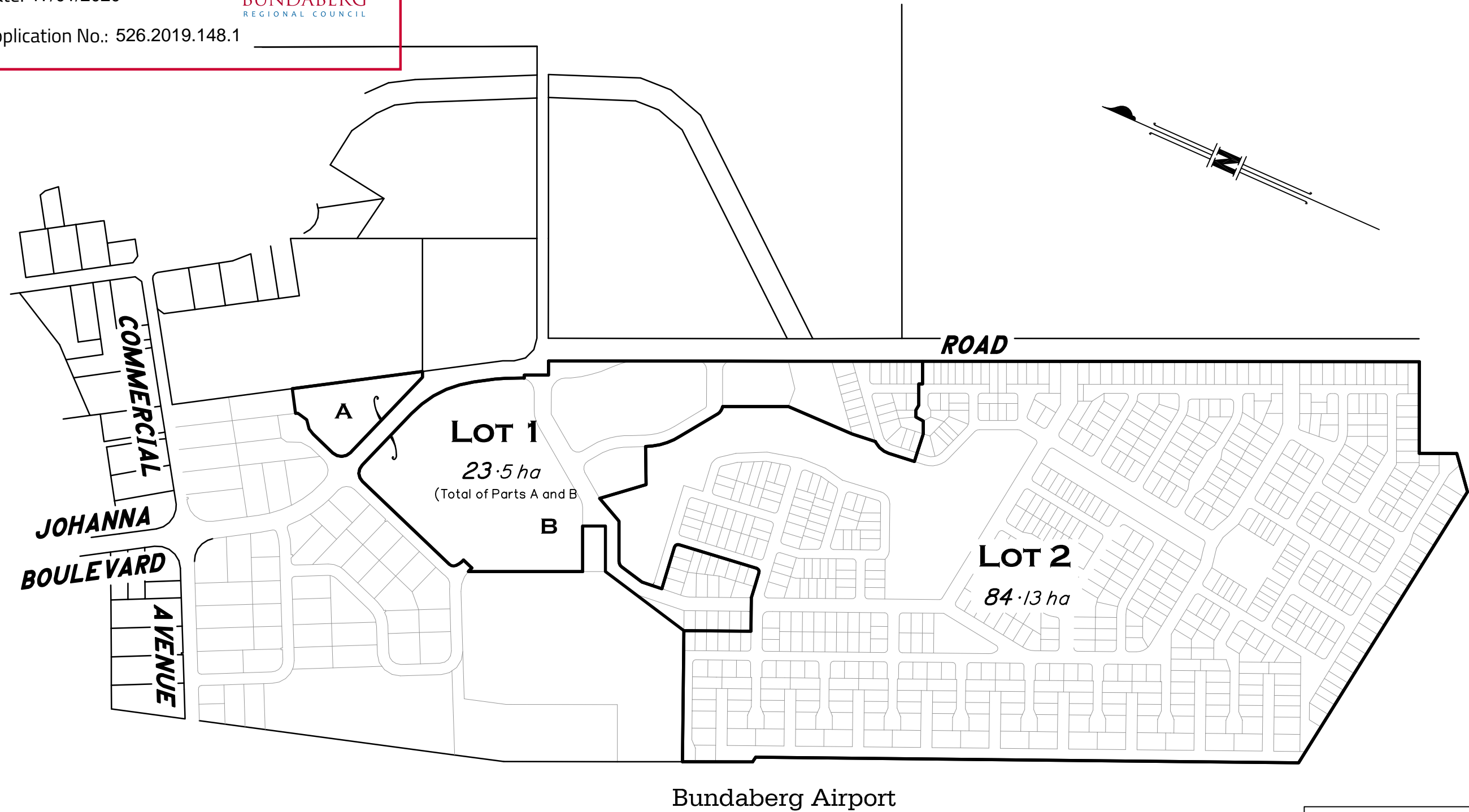
- Access for service vehicles and employee parking
- Vehicle access to car parking area
- Pedestrian paths and connections



APPROVED PLAN

Date: 17/01/2020

Application No.: 526.2019.148.1



NOTES :
1. ALL BOUNDARIES SHOWN ON THIS PLAN ARE SUBJECT TO FINAL SURVEY.

- LIST OF DRAWINGS**
- 01- KEY PLAN & LIST OF DRAWINGS
 - 02- METES AND BOUNDS PLAN : LOT 1
 - 03- METES AND BOUNDS PLAN : LOT 2


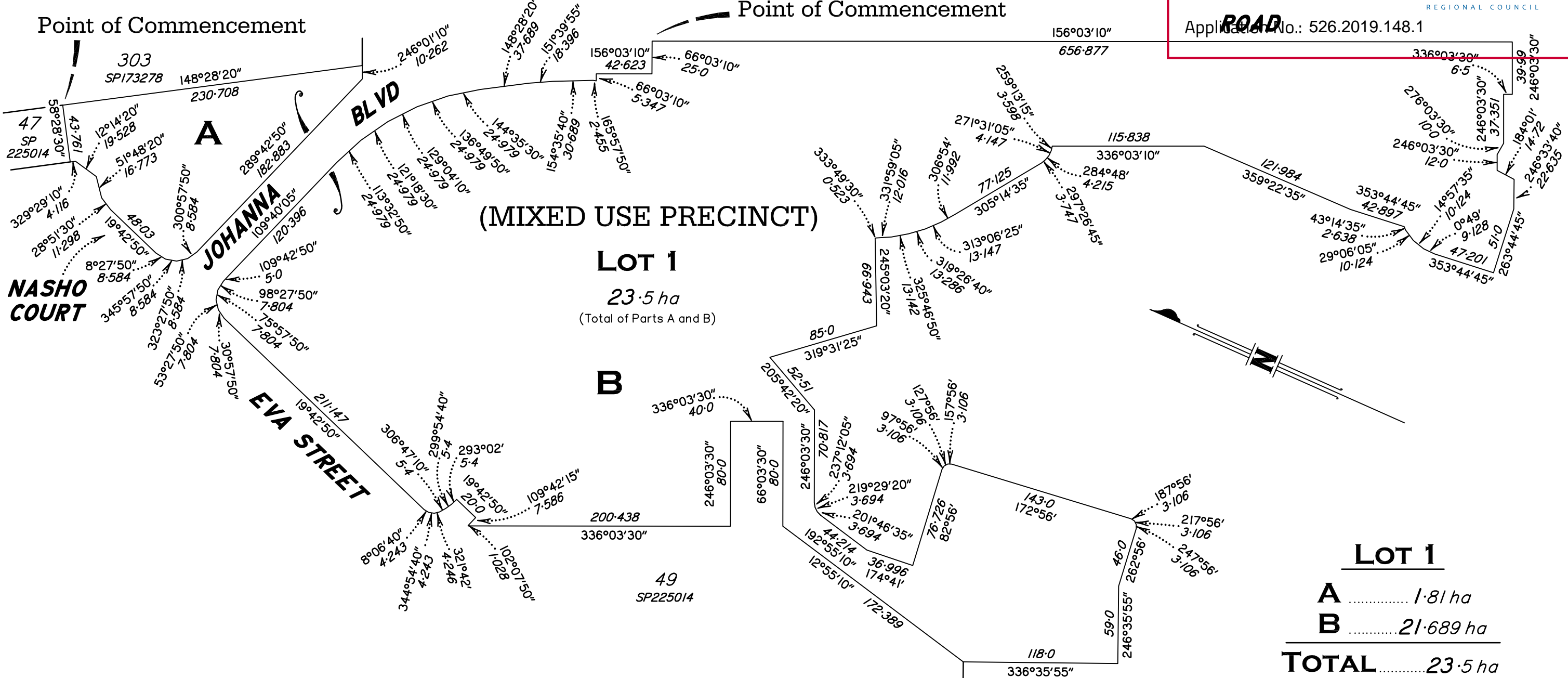
PROPERTY DESCRIPTION
LOT 50 ON SP291184
LOCALITY OF KENSINGTON
BUNDABERG REGIONAL COUNCIL

METES & BOUNDS KEY PLAN

METES AND BOUNDS DESCRIPTION OF LOT 1 PART A

Commencing at a point being the north corner of Lot 50 on SP291184 and thence on a bearing of 148°28'20" for a distance of 230.708 metres, on a bearing of 246°01'10" for a distance of 10.262 metres, on a bearing of 289°42'50" for a distance of 8.584 metres, on a bearing of 323°27'50" for a distance of 8.584 metres, on a bearing of 345°57'50" for a distance of 8.584 metres, on a bearing of 8°27'50" for a distance of 8.584 metres, on a bearing of 19°42'50" for a distance of 48.03 metres, on a bearing of 51°48'20" for a distance of 16.773 metres, on a bearing of 12°14'20" for a distance of 19.528 metres, on a bearing of 329°29'10" for a distance of 4.116 metres, on a bearing of 58°28'30" for a distance of 43.761 metres, to the point of commencement, and containing an area of 1.810 Hectares more or less.

APPROVED PLAN
 Date: 17/01/2020
 Application No.: 526.2019.148.1

METES AND BOUNDS DESCRIPTION OF LOT 1 PART B

Commencing at a point at a north east corner of lot 50 on SP291184 being station B on SP291184 and thence on a bearing of 156°03'10" for a distance of 656.877 metres, on a bearing of 246°03'30" for a distance of 39.99 metres, on a bearing of 336°03'30" for a distance of 6.5 metres, on a bearing of 246°03'30" for a distance of 37.351 metres, on a bearing of 276°03'30" for a distance of 10.0 metres, on a bearing of 246°03'30" for a distance of 12.0 metres, on a bearing of 184°01' for a distance of 14.72 metres, on a bearing of 246°33'40" for a distance of 22.635 metres, on a bearing of 263°44'45" for a distance of 51.0 metres, on a bearing of 353°44'45" for a distance of 47.201 metres, on a bearing of 0°49' for a distance of 9.128 metres, on a bearing of 14°57'35" for a distance of 10.124 metres, on a bearing of 29°06'05" for a distance of 10.124 metres, on a bearing of 43°14'35" for a distance of 2.638 metres, on a bearing of 353°44'45" for a distance of 42.897 metres, on a bearing of 359°22'35" for a distance of 121.984 metres, on a bearing of 336°03'10" for a distance of 115.838 metres, on a bearing of 259°13'15" for a distance of 3.598 metres, on a bearing of 271°31'05" for a distance of 4.147 metres, on a bearing of 284°48' for a distance of 4.215 metres, on a bearing of 297°26'45" for a distance of 3.747 metres, on a bearing of 305°14'35" for a distance of 77.125 metres, on a bearing of 306°54' for a distance of 11.992 metres, on a bearing of 313°06'25" for a distance of 13.147 metres, on a bearing of 319°26'40" for a distance of 13.286 metres, on a bearing of 325°46'50" for a distance of 13.142 metres, on a bearing of 331°59'05" for a distance of 12.016 metres, on a bearing of 333°49'30" for a distance of 0.523 metres, on a bearing of 245°03'20" for a distance of 66.943 metres, on a bearing of 319°31'25" for a distance of 85.0 metres, on a bearing of 205°42'20" for a distance of 52.51 metres, on a bearing of 246°03'30" for a distance of 70.817 metres, on a bearing of 237°12'05" for a distance of 3.694 metres, on a bearing of 219°29'20" for a distance of 3.694 metres, on a bearing of 201°46'35" for a distance of 3.694 metres, on a bearing of 192°55'10" for a distance of 44.214 metres, on a bearing of 174°41' for a distance of 36.996 metres, on a bearing of 82°56' for a distance of 76.726 metres, on a bearing of 97°56' for a distance of 3.106 metres, on a bearing of 127°56' for a distance of 3.106 metres, on a bearing of 157°56' for a distance of 3.106 metres, on a bearing of 172°56' for a distance of 143.0 metres, on a bearing of 187°56' for a distance of 3.106 metres, on a bearing of 217°56' for a distance of 3.106 metres, on a bearing of 247°56' for a distance of 3.106 metres, on a bearing of 262°56' for a distance of 46.0 metres, on a bearing of 246°35'55" for a distance of 59.0 metres, on a bearing of 336°35'55" for a distance of 118.0 metres, on a bearing of 12°55'10" for a distance of 172.389 metres, on a bearing of 66°03'30" for a distance of 80.0 metres, on a bearing of 336°03'30" for a distance of 40.0 metres, on a bearing of 246°03'30" for a distance of 80.0 metres, on a bearing of 102°07'50" for a distance of 1.028 metres, on a bearing of 109°42'15" for a distance of 7.586 metres, on a bearing of 19°42'50" for a distance of 20.0 metres, on a bearing of 293°02' for a distance of 5.4 metres, on a bearing of 299°54'40" for a distance of 5.4 metres, on a bearing of 306°47'10" for a distance of 5.4 metres, on a bearing of 321°42' for a distance of 4.246 metres, on a bearing of 344°54'40" for a distance of 4.243 metres, on a bearing of 8°06'40" for a distance of 4.243 metres, on a bearing of 19°42'50" for a distance of 211.147 metres, on a bearing of 30°57'50" for a distance of 7.804 metres, on a bearing of 53°27'50" for a distance of 7.804 metres, on a bearing of 75°57'50" for a distance of 7.804 metres, on a bearing of 98°27'50" for a distance of 7.804 metres, on a bearing of 109°42'50" for a distance of 5.0 metres, on a bearing of 109°40'05" for a distance of 120.396 metres, on a bearing of 113°32'50" for a distance of 24.979 metres, on a bearing of 121°18'30" for a distance of 24.979 metres, on a bearing of 129°04'10" for a distance of 24.979 metres, on a bearing of 136°49'50" for a distance of 24.979 metres, on a bearing of 144°35'30" for a distance of 24.979 metres, on a bearing of 148°28'20" for a distance of 37.689 metres, on a bearing of 151°39'55" for a distance of 18.396 metres, on a bearing of 154°35'40" for a distance of 30.689 metres, on a bearing of 165°57'50" for a distance of 2.455 metres, on a bearing of 66°03'10" for a distance of 5.347 metres, on a bearing of 156°03'10" for a distance of 42.623 metres, on a bearing of 66°03'10" for a distance of 25.0 metres, to the point of commencement, and containing an area of 21.689 Hectares more or less.

NOTES :
 1. ALL BOUNDARIES SHOWN ON THIS PLAN ARE SUBJECT TO FINAL SURVEY.

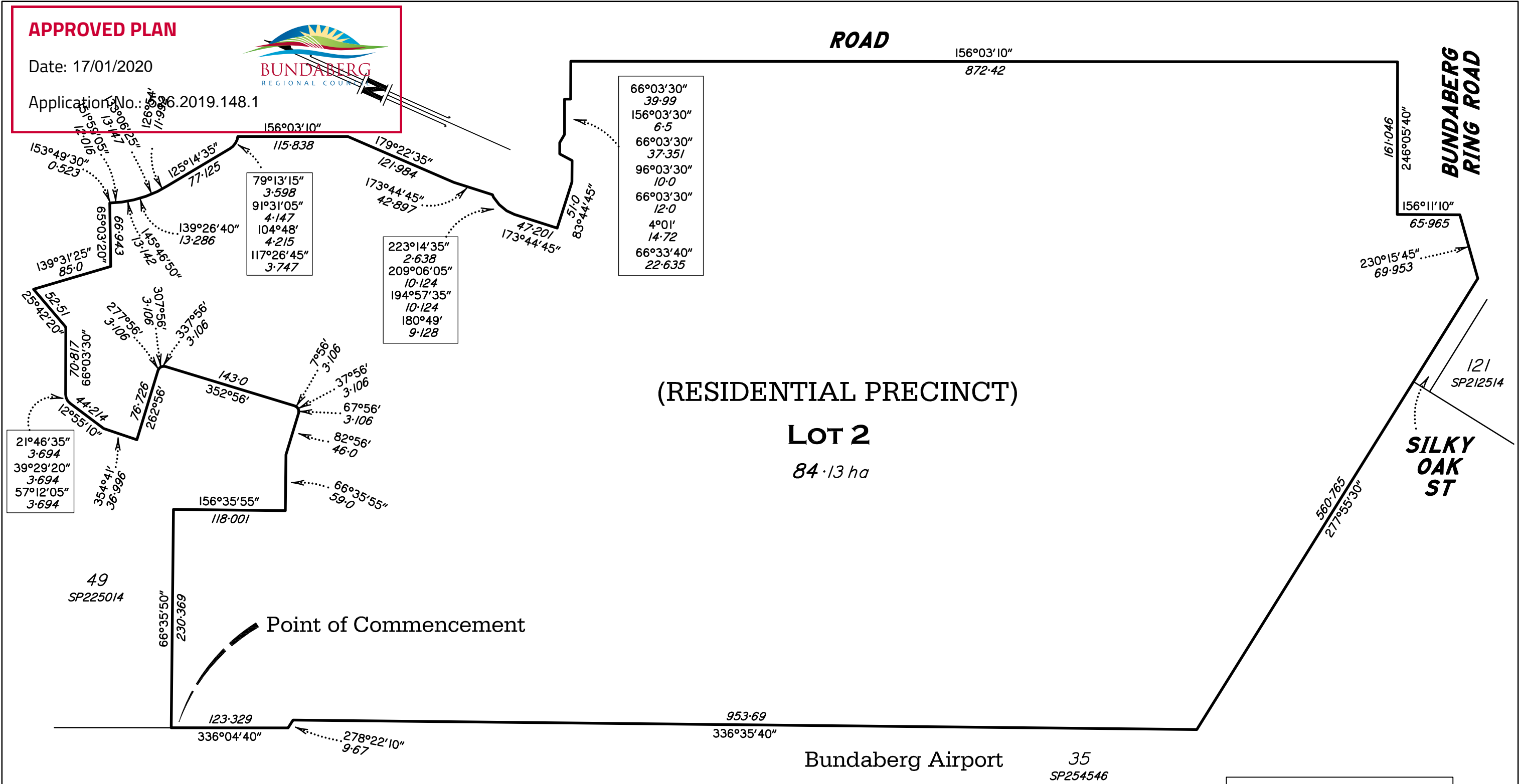
PROPERTY DESCRIPTION
 LOT 50 ON SP291184
 LOCALITY OF KENSINGTON
 BUNDABERG REGIONAL COUNCIL

METES & BOUNDS PLAN
MIXED USE PRECINCT
LOT 1 PARTS A AND B
 DRAWING 2 OF 3 : WSA : 17068 BD19231 SEP 2019

APPROVED PLAN

Date: 17/01/2020

Application No.: 16.2019.148.1



(RESIDENTIAL PRECINCT)

LOT 2
84.13 ha

METES AND BOUNDS DESCRIPTION OF LOT 2 (RESIDENTIAL PRECINCT)

Commencing at a point being the south corner of lot 49 on SP225014 and thence on a bearing of 66°35'50" for a distance of 230.369 metres, on a bearing of 156°35'55" for a distance of 118.001 metres, on a bearing of 66°35'55" for a distance of 59.0 metres, on a bearing of 82°56' for a distance of 46.0 metres, on a bearing of 67°56' for a distance of 3.106 metres, on a bearing of 37°56' for a distance of 3.106 metres, on a bearing of 7°56' for a distance of 3.106 metres, on a bearing of 352°56' for a distance of 143.0 metres, on a bearing of 337°56' for a distance of 3.106 metres, on a bearing of 307°56' for a distance of 3.106 metres, on a bearing of 277°56' for a distance of 3.106 metres, on a bearing of 262°56' for a distance of 76.726 metres, on a bearing of 354°41' for a distance of 36.996 metres, on a bearing of 12°55'10" for a distance of 44.214 metres, on a bearing of 21°46'35" for a distance of 3.694 metres, on a bearing of 39°29'20" for a distance of 3.694 metres, on a bearing of 57°12'05" for a distance of 3.694 metres, on a bearing of 66°03'30" for a distance of 70.817 metres, on a bearing of 25°42'20" for a distance of 52.51 metres, on a bearing of 139°31'25" for a distance of 85.0 metres, on a bearing of 65°03'20" for a distance of 66.943 metres, on a bearing of 153°49'30" for a distance of 0.523 metres, on a bearing of 151°59'05" for a distance of 12.016 metres, on a bearing of 145°46'50" for a distance of 13.142 metres, on a bearing of 139°26'40" for a distance of 13.286 metres, on a bearing of 133°06'25" for a distance of 13.147 metres, on a bearing of 126°54' for a distance of 11.992 metres, on a bearing of 125°14'35" for a distance of 77.125 metres, on a bearing of 117°26'45" for a distance of 3.747 metres, on a bearing of 104°48' for a distance of 4.215 metres, on a bearing of 91°31'05" for a distance of 4.147 metres, on a bearing of 79°13'15" for a distance of 3.598 metres, on a bearing of 156°03'10" for a distance of 115.838 metres, on a bearing of 179°22'35" for a distance of 121.984 metres, on a bearing of 173°44'45" for a distance of 42.897 metres, on a bearing of 223°14'35" for a distance of 2.638 metres, on a bearing of 209°06'05" for a distance of 10.124 metres, on a bearing of 194°57'35" for a distance of 10.124 metres, on a bearing of 180°49' for a distance of 9.128 metres, on a bearing of 173°44'45" for a distance of 47.201 metres, on a bearing of 83°44'45" for a distance of 51.0 metres, on a bearing of 66°33'40" for a distance of 22.635 metres, on a bearing of 4°01' for a distance of 14.72 metres, on a bearing of 66°03'30" for a distance of 12.0 metres, on a bearing of 96°03'30" for a distance of 10.0 metres, on a bearing of 66°03'30" for a distance of 37.351 metres, on a bearing of 156°03'30" for a distance of 6.5 metres, on a bearing of 66°03'30" for a distance of 39.99 metres, on a bearing of 156°03'10" for a distance of 872.42 metres, on a bearing of 246°05'40" for a distance of 161.046 metres, on a bearing of 156°11'10" for a distance of 65.965 metres, on a bearing of 230°15'45" for a distance of 69.953 metres, on a bearing of 277°55'30" for a distance of 560.765 metres, on a bearing of 336°35'40" for a distance of 953.69 metres, on a bearing of 278°22'10" for a distance of 9.67 metres, on a bearing of 336°04'40" for a distance of 123.329 metres, to the point of commencement, and containing an area of 84.13 Hectares more or less.

NOTES :
1. ALL BOUNDARIES SHOWN ON THIS PLAN ARE SUBJECT TO FINAL SURVEY.

PROPERTY DESCRIPTION
LOT 50 ON SP291184
LOCALITY OF KENSINGTON
BUNDABERG REGIONAL COUNCIL

**METES & BOUNDS PLAN
RESIDENTIAL PRECINCT
LOT 2**

APPROVED PLAN

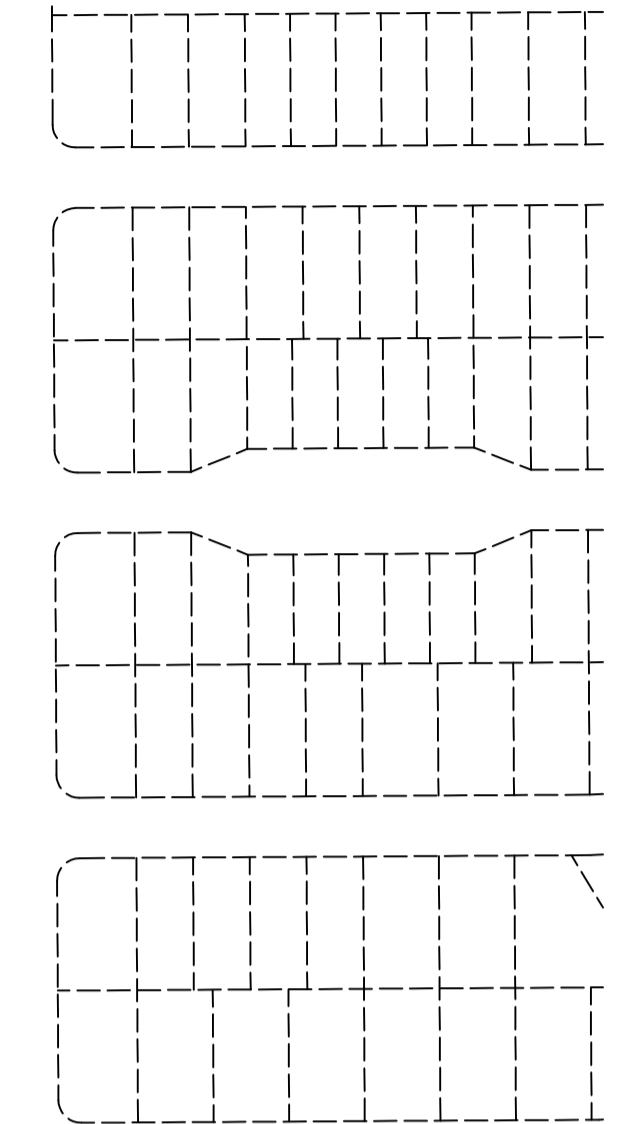
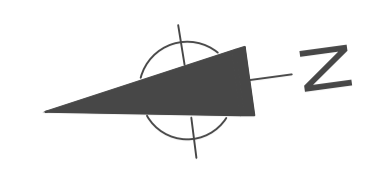
Date: 17/01/2020

Application No.: 526.2019.148.1

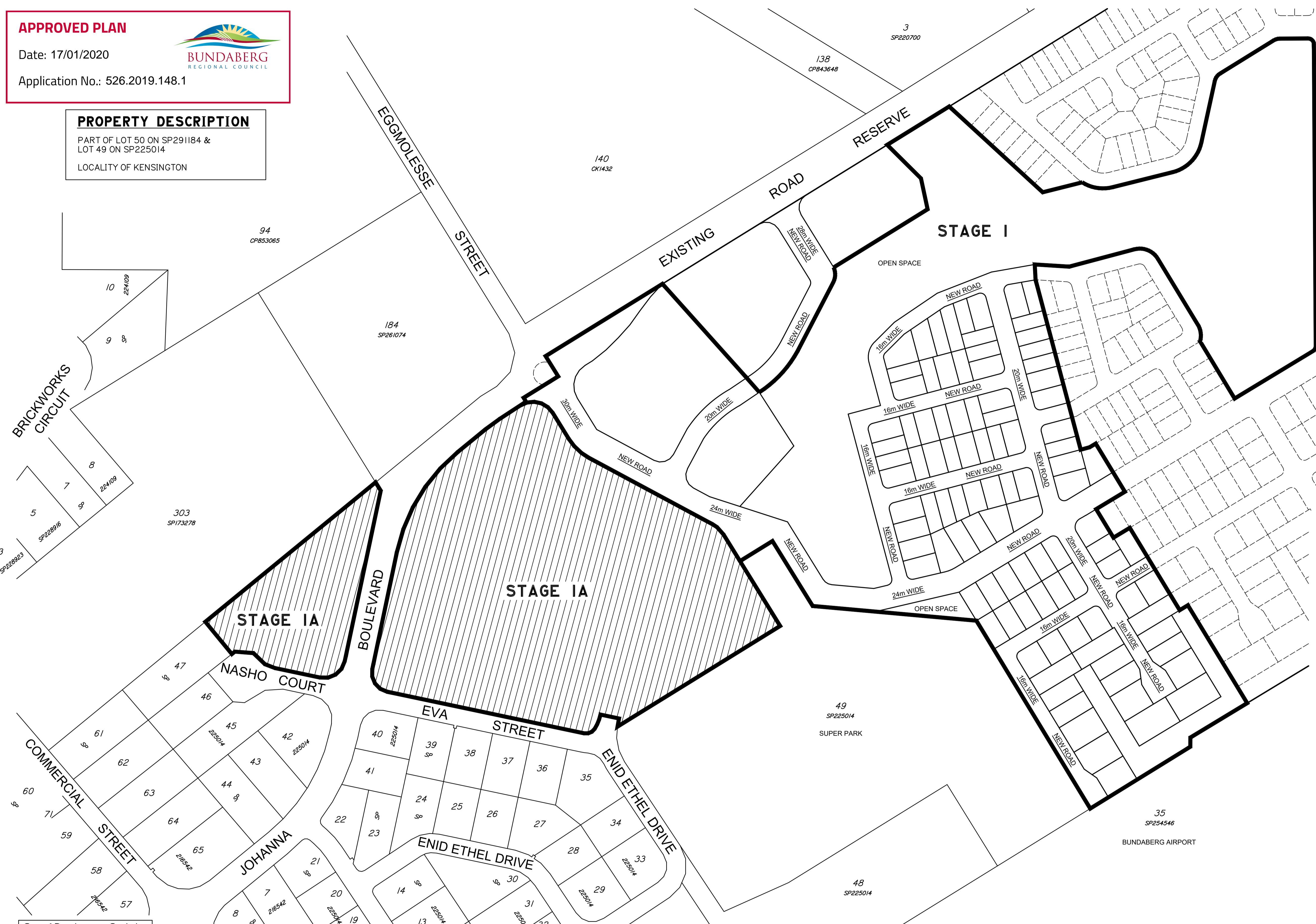


PROPERTY DESCRIPTION

PART OF LOT 50 ON SP291184 &
LOT 49 ON SP225014
LOCALITY OF KENSINGTON



FUTURE DEVELOPMENT



Notes
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Issue	Revision	Int	Date
A	Original Issue	AV	26/02/18
B	Removed road from Superpark	AV	18/09/19

LEGEND
 - Stage Boundary

Address: Kensington Parkside Estate
Eva St. Kensington
 Plan of: STAGE 1 AND 1A PRELIMINARY RECONFIGURATION PLAN
 RPD: LOT 50 ON SP291184
 SHEET 1 OF 1
 LOCAL AUTHORITY BUNDABERG REGIONAL COUNCIL
 Client: Pressler Properties

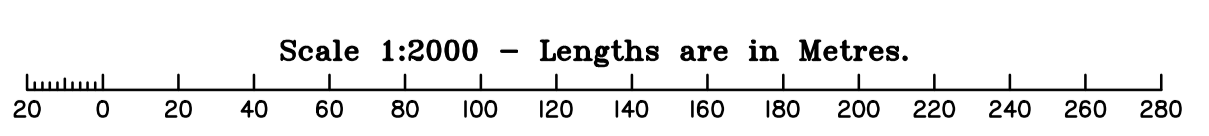
dts urban planning, surveying & development
 Brisbane PO Box 3128, West End QLD 4101
 Ph: 07 3138 0909
 brisbane@dtsqld.com.au
 Macquay PO Box 11711, Mackay Queensland QLD 4740
 Ph: 1300 278 765
 macquay@dtsqld.com.au
 Date: 18/09/2019 Scale: 1:2000 @ A1
 Drawn: AV Design: GW
 Drawing File: B170765P1.dwg Project No: BNE170765
 Drawing No: A1 1222 Revision: B

Stage I Development Statistics

Total Area of Stage	26.918 Ha
Number of Mixed Use Lots	2
Number of Residential Lots	99
Number of Open Space Lots	2
Average Residential Lot Area	723m ²
Area of Open Space	11,127 Ha
Length of New Road	
16.0m Wide	1253m
20.0m Wide	665m
24.0m Wide	552m
28.0m Wide	84m
30.0m Wide	170m

Stage IA Development Statistics

Total Area of Stage	11.123 Ha
Total Number of Lots	2
Average Lot Area	-
Area of Open Space	-
Length of New Road	
16.0m Wide	0m
20.0m Wide	0m
24.0m Wide	0m
28.0m Wide	0m
30.0m Wide	0m



**PROPOSED SUBDIVISION LAYOUT PLAN
SHEET 1 OF 1**

APPROVED PLAN

Date: 17/01/2020

Application No.: 526.2019.148.1



PLAN OF DEVELOPMENT 3 Kensington Master Planned Community

02 November 2019

Revision Number: 4

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PART 1 — PRELIMINARY

1.1 Citation

This document may be cited as the Kensington Master Planned Community Plan of Development—POD 3.

1.2 Land to which this plan of development applies

This plan of development applies to land—

- (1) situated at Johanna Boulevard and Low Street, Kensington;
- (2) described as Lot 50 on SP291184 (formerly part of lot 2 on SP177129);
- (3) containing an area of 114.5 hectares;
- (4) shown in the 'Kensington Master Planned Community Structure Plan' in Appendix 1;
- (5) included in either stage 1 or stage 1A in the 'Kensington Master Planned Community Staging Plan' in Appendix 12; and

Which is referred to in this plan of development as the *plan area*.

1.3 Purpose

- (1) This plan of development has been prepared under the provisions of section 3.1.6 of the Integrated Planning Act (IPA)—Preliminary approval may override a local planning instrument.

- (2) The plan of development—
 - (a) identifies assessable, self-assessable and exempt development; and
 - (b) provides a basis for assessing development applications in the plan area by identifying applicable codes; and
 - (c) amends the Bundaberg City Plans' "House Code" for applicable development within the plan area

1.4 Land is included in a precinct

- (1) Land in the plan area is included in one of the following precincts—
 - (a) Mixed Use Precinct;
 - (b) Residential Precinct.
- (2) Precincts for the plan area are identified in the 'Kensington Master Planned Community Precinct Plan' in Appendix 2; in addition a metes and bounds description of the precincts is attached in Appendix B.

1.5 Commencement and relevant period

- (1) This plan of development takes effect on (the day the application is approved)
- (2) The relevant period¹ of this approval is increased as follows:
 - (a) Where section 3.5.21 (1) (a) of the Act states a relevant period of 4 years for a development approval for a material change of use, this is increased in accordance with section 3.5.21 (1) (b) to 10 years;
 - (b) Where section 3.5.21 (2) (a) of the Act states a relevant period of 2 years for applications for lot reconfiguring not requiring operational works, this is increased in accordance with 3.5.21 (2) (c) to 5 years;

¹ See the IPA, section 3.5.21 When approval lapses if development not started.

- (c) Where section 3.5.21 (2) (b) of the Act states a relevant period of 4 years for lot reconfiguring requiring operational works, this is increased in accordance with section 3.5.21 (2) (c) to 7 years;
- (d) Where section 3.5.21 (3) (a) of the Act states a relevant period of 2 years for development approvals other than for a material change of use or reconfiguring a lot, this is increased in accordance with section 3.5.21 (3) (c) to 4 years;

1.6 Conditions of approval

Development on the subject land is to comply with this plan of development and all conditions of the development approval.

PART 2—INTERPRETATION

2.1 Definitions

2.1.1 Defined terms in the IPA

All terms that are defined in the IPA have the same meaning as in the IPA.

2.1.2 Defined uses in planning scheme

All terms that are defined in the planning scheme have the same meaning as in that scheme.

2.1.3 Roads, watercourses and reclaimed land

To remove any doubt this plan of development does not vary the effect of section 1.2.1 of the planning scheme².

² Section 1.2.1 of the planning scheme deals with roads, watercourses and reclaimed land and how they are to be treated when determining the boundaries of planning designations such as zones and precincts.

**PART 3 — ASSESSMENT
CATEGORIES**

3.1 Explanation of development assessment tables

- (1) This part contains development assessment tables for each of the two precincts in the plan area.
- (2) Assessment tables identify—
 - (a) the assessment category applicable to development stated in the table;
 - (b) the applicable assessment criteria for code assessable or self-assessable development;
- (3) Development identified in an assessment table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.
- (4) Development identified as Impact Inconsistent within the development assessment table represents impact assessable development that is unlikely to be consistent with the Plan of Development or the Bundaberg City Plan.
- (5) In the case of a conflict between the requirements of a primary code (identified in the third column of the assessment table) and a secondary code, the primary code prevails.
- (6) All development within the plan area is exempt development in terms of the Ecology Protection Overlay.

3.2 Assessment table for the Mixed Use Precinct

The following table is the development assessment table for the Mixed Use Precinct—

Mixed Use Precinct— *Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.*

An application type indicated as 'Impact Inconsistent' within the development assessment table represents impact assessable development that is unlikely to be consistent with the Plan of Development or the Bundaberg City Plan.

All development within the mixed use precinct is exempt development in terms of the Ecology Protection Overlay

Type of Development	Application type	Applicable Codes
		Primary Codes (in bold text) Other Codes (in plain text)
MATERIAL CHANGE OF USE		
Agriculture	Impact Inconsistent	
Animal Husbandry	Impact Inconsistent	
Caretaker's Residence other than when associated with a residential single unit	Self	House Code as amended by this Preliminary Approval
Caretaker's Residence associated with a residential single unit	Impact	
Commercial Activity A	Code	Kensington Mixed Use Code Commercial Activity Code Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code
Commercial Activity B	Code	Kensington Mixed Use Code Commercial Activity Code Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code

Mixed Use Precinct — Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.

An application type indicated as 'Impact Inconsistent' within the development assessment table represents impact assessable development that is unlikely to be consistent with the Plan of Development or the Bundaberg City Plan.

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Type of Development	Application type	Applicable Codes	
		Primary Codes (in bold text)	Other Codes (in plain text)
Commercial Activity C , including a major shopping complex and/or supermarket on a site that is located within the area designated "General Location of Village Centre" on the Structure Plan—Appendix 1.	Code	Kensington Mixed Use Code Commercial Activity Code Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code	
Commercial Activity C for a major shopping complex and/or supermarket on a site that is not within the area designated "General Location of Village Centre" on the Structure Plan – Appendix 1.	Impact Inconsistent		
Community Activity	Code	Kensington Mixed Use Code Community Activity Code Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code	
Community Infrastructure	Code	Kensington Mixed Use Code Community Activity Code Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code	
Industry – Food related	Impact Inconsistent		
Industry – General	Impact Inconsistent		

Mixed Use Precinct — Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.

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Type of Development	Application type	Applicable Codes	
		Primary Codes (in bold text)	Other Codes (in plain text)
Industry – Light	Code	Kensington Mixed Use Code Industry Near Residences Code Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code	
Industry Service	Code	Kensington Mixed Use Code Industry Near Residences Code Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code	
Industry – Noxious, Offensive or Hazardous	Impact Inconsistent		
Park	Exempt		Not Applicable
Recreation Indoor	Code	Kensington Mixed Use Code Recreation Indoor and Recreation Outdoor Code Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code	
Recreation Outdoor	Impact		

Mixed Use Precinct — Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.

An application type indicated as 'Impact Inconsistent' within the development assessment table represents impact assessable development that is unlikely to be consistent with the Plan of Development or the Bundaberg City Plan.

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Type of Development	Application type	Applicable Codes
		Primary Codes (in bold text) Other Codes (in plain text)
Residential Display Home	Code	House Code as amended by this Preliminary Approval Signs Code as modified by the Kensington Mixed Use Code Vehicle Parking and Access Code
Residential Dual Occupancy	Code	Kensington Mixed Use Code Medium Density Residential Code Infrastructure Services Code Landscaping Code Signs Code as modified by the Kensington Mixed Use Code Vehicle Parking and Access Code
Residential Multi Unit	Code	Kensington Mixed Use Code Medium Density Residential Code Infrastructure Services Code Landscaping Code Signs Code as modified by the Kensington Mixed Use Code Vehicle Parking and Access Code
Residential Single Unit	Self	House Code as amended by this Preliminary Approval Signs Code as modified by the Kensington Mixed Use Code Vehicle Parking and Access Code

Mixed Use Precinct — Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.

An application type indicated as 'Impact Inconsistent' within the development assessment table represents impact assessable development that is unlikely to be consistent with the Plan of Development or the Bundaberg City Plan.

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Type of Development	Application type	Applicable Codes	
		Primary Codes (in bold text)	Other Codes (in plain text)
Residential Special, if for relocatable home park	Code	Kensington Mixed Use Code Medium Density Residential Code Infrastructure Services Code Landscaping Code Signs Code as modified by the Kensington Mixed Use Code Vehicle Parking and Access Code	
Residential Special, if for other than relocatable home park	Impact Inconsistent		
Special Use	Impact Inconsistent		
Utilities	Code	Kensington Mixed Use Code Community Activity Code Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code	
Other (not defined)	Impact		
BUILDING WORK — Not Associated with an application for a Material Change of Use			
Building Work resulting in less than 30 m ² increase in GFA.	Exempt		Not Applicable

Mixed Use Precinct — Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.

An application type indicated as 'Impact Inconsistent' within the development assessment table represents impact assessable development that is unlikely to be consistent with the Plan of Development or the Bundaberg City Plan.

All development within the mixed use precinct is exempt development in terms of the Ecology Protection Overlay

Type of Development	Application type	Applicable Codes
		Primary Codes (in bold text) Other Codes (in plain text)
Building Work for residential single unit or caretakers residence	Self	House Code as modified by this Preliminary Approval Signs Code as modified by the Kensington Mixed Use Code Vehicle Parking and Access Code
Building Work for other residential development	Self	Medium Density Residential Code Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code
Building Work for Indoor and Outdoor Recreation	Self	Recreation Indoor and Recreation Outdoor Code Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code
Building Work for Commercial development	Self	Commercial Activity Code Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code

Mixed Use Precinct — Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.

An application type indicated as 'Impact Inconsistent' within the development assessment table represents impact assessable development that is unlikely to be consistent with the Plan of Development or the Bundaberg City Plan.

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Type of Development	Application type	Applicable Codes	
		Primary Codes (in bold text)	Other Codes (in plain text)
Building Work for Industrial development	Self	Industry Near Residences Code	Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code
Building Work for Community Activity, Community Infrastructure, Special Uses, and Utilities	Self	Community Activity Code	Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code
Building Work for Agriculture or Animal Husbandry	Self	Rural Activity Code	
RECONFIGURING A LOT — as defined in section 1.3.5 of the Act			
Amalgamation of 2 or more lots	Exempt	Not Applicable	
Other Reconfiguring a Lot	Code	Kensington Lot Reconfiguration Code	Lot Reconfiguration Code Infrastructure Services Code Filling and Excavation Code Vehicle Parking and Access Code

Mixed Use Precinct — Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.

An application type indicated as 'Impact Inconsistent' within the development assessment table represents impact assessable development that is unlikely to be consistent with the Plan of Development or the Bundaberg City Plan.

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Type of Development	Application type	Applicable Codes
		Primary Codes (in bold text) Other Codes (in plain text)
OPERATIONAL WORK — not associated with a material change of use or reconfiguring a lot application		
Operational Work involving work relating to a residential single unit including driveways, kerb crossovers, internal paths, swimming pool excavation	Self	House Code as amended by this Preliminary Approval Filling and Excavation Code
Operational Work involving placing an advertising device on premises	Self	Signs Code as modified by the Kensington s Mixed Use Code
Operational Work involving landscaping and not associated with another development application	Code	Kensington Lot Reconfiguration Code Landscaping Code
Operational Work where involving the filling or excavation not exceeding 30m ³ of material to a depth not exceeding 300mm	Self	Filling and Excavation Code
Operational Work if involving the filling or excavation of more than 30 m ³ of material to a depth exceeding 300 mm;	Code	Kensington Lot Reconfiguration Code Filling and Excavation Code
Operational Work where undertaking work other than destroying or removing vegetation not on freehold land in, on, over or under premises that materially affects premises or their use	Code	Kensington Lot Reconfiguration Code Filling and Excavation Code Infrastructure Services Code
Other Operational Work	Exempt	Not Applicable

3.3 Assessment table for the Residential Precinct

The following table is the development assessment table for the Residential Precinct—

Residential Precinct — *Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.*

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Defined Use	Type	Applicable codes	
		Primary Codes (in Bold Text)	Other Codes (in plain text)
Agriculture	Impact Inconsistent		
Animal Husbandry	Impact Inconsistent		
Caretaker's Residence other than when associated with a residential single unit.	Self	House Code as amended by this Preliminary Approval	
Caretaker's Residence associated with a residential single unit	Impact		
Commercial Activity A	Impact Inconsistent		
Commercial Activity B , being a kiosk, on a site located within the town park.	Code	Commercial Activity Code Infrastructure Services Code Signs Code as modified by the Kensington Mixed Use Code Landscaping Code Vehicle Parking and Access Code	
Commercial Activity B , other than a kiosk located on a site in the town park.	Impact Inconsistent		
Commercial Activity C	Impact Inconsistent		

Residential Precinct — Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.

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Defined Use	Type	Applicable codes	
		Primary Codes (in Bold Text)	Other Codes (in plain text)
Community Activity other than on a site with a frontage to a taxiway	Code	Kensington Residential Code Community Activity Code Infrastructure Services Code Signs Code as modified by the Kensington s Residential Code Landscaping Code Vehicle Parking and Access Code	
Community Activity on a site with a frontage to a taxiway	Impact Inconsistent		
Community Infrastructure not on a site with a frontage to a taxiway, other than for Emergency Services; Facilities for the storage of valuable records or items of cultural or historic significance; and Hospital hospice and sanatorium	Code	Kensington Residential Code Community Activity Code Infrastructure Services Code Signs Code as modified by the Kensington Residential Code Landscaping Code Vehicle Parking and Access Code	
Community Infrastructure not on a site with a frontage to a taxiway, for Emergency Services; Facilities for the storage of valuable records or items of cultural or historic significance; and Hospital, hospice, and sanatorium	Impact		
Community Infrastructure on a site with frontage to a taxiway	Impact Inconsistent		
Industry – Food related	Impact Inconsistent		
Industry – General	Impact Inconsistent		

Residential Precinct — Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.

An application type indicated as 'Impact Inconsistent' within the development assessment table represents impact assessable development that is unlikely to be consistent with the Plan of Development or the Bundaberg City Plan.

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Defined Use	Type	Applicable codes
		Primary Codes (in Bold Text)
		Other Codes (in plain text)
Industry – Light	Impact Inconsistent	
Industry Service	Impact Inconsistent	
Industry – Noxious, Offensive or Hazardous	Impact Inconsistent	
Park	Exempt	Not Applicable
Recreation Indoor for gymnasium, indoor sports centre, and licensed club, provided the site does not have frontage to a taxiway	Impact	
Recreation Indoor on a site that has frontage to a taxiway	Impact Inconsistent	
Recreation Indoor other than gymnasium, indoor sports centre, and licensed club	Impact Inconsistent	
Recreation Outdoor	Impact	
Residential Display Home	Code	House Code as amended by this Preliminary Approval Signs Code as modified by the Kensington Residential Code Vehicle Parking and Access Code
Residential Dual Occupancy	Code	Kensington Residential Code Medium Density Residential Code Infrastructure Services Code Landscaping Code Signs Code as modified by the Kensington Residential Code Vehicle Parking and Access Code

Residential Precinct — Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.

An application type indicated as 'Impact Inconsistent' within the development assessment table represents impact assessable development that is unlikely to be consistent with the Plan of Development or the Bundaberg City Plan.

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Defined Use	Type	Applicable codes	
		Primary Codes (in Bold Text)	Other Codes (in plain text)
Residential Multi Unit on a site that does not have frontage to a taxiway	Code	Kensington Residential Code Medium Density Residential Code Infrastructure Services Code Landscaping Code Signs Code as modified by the Kensington Residential Code Vehicle Parking and Access Code	
Residential Multi Unit on a site with frontage to a taxiway	Impact Inconsistent		
Residential Single Unit	Self	House Code as amended by this Preliminary Approval Signs Code as modified by the Kensington Residential Code Vehicle Parking and Access Code	
Residential Special , if for relocatable home park	Code	Kensington Residential Code Medium Density Residential Code Infrastructure Services Code Landscaping Code Signs Code as modified by the Kensington Residential Code Vehicle Parking and Access Code	
Residential Special , other than relocatable home park	Impact Inconsistent		
Special Use	Impact Inconsistent		

Residential Precinct — Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.

An application type indicated as 'Impact Inconsistent' within the development assessment table represents impact assessable development that is unlikely to be consistent with the Plan of Development or the Bundaberg City Plan.

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Defined Use	Type	Applicable codes	
		Primary Codes (in Bold Text)	Other Codes (in plain text)
Utilities other than on a site with frontage to a taxiway	Code	Kensington Residential Code Community Activity Code Infrastructure Services Code Signs Code as modified by the Kensington Residential Code Landscaping Code Vehicle Parking and Access Code	
Utilities on a side with frontage to a taxiway	Impact Inconsistent		
Other not defined	Impact		
BUILDING WORK — Not associated with an application for a Material Change of Use			
Building Work resulting in less than 30 m ² increase in GFA	Exempt		Not Applicable
Building Work for residential single unit or caretakers residence	Self	House Code as amended by this Preliminary Approval. Signs Code as modified by the Kensington Residential Code Vehicle Parking and Access Code	
Building Work for other residential development	Self	Medium Density Residential Code Infrastructure Services Code Signs Code as modified by the Kensington Residential Code Landscaping Code Vehicle Parking and Access Code	

Residential Precinct — Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.

An application type indicated as 'Impact Inconsistent' within the development assessment table represents impact assessable development that is unlikely to be consistent with the Plan of Development or the Bundaberg City Plan.

All development within the residential precinct is exempt development in terms of the Ecology Protection Overlay

Defined Use	Type	Applicable codes
		Primary Codes (in Bold Text) Other Codes (in plain text)
Building Work for Indoor and Outdoor Recreation	Self	Recreation Indoor and Recreation Outdoor Code Infrastructure Services Code Signs Code as modified by the Kensington Residential Code Landscaping Code Vehicle Parking and Access Code
Building Work for Commercial development	Self	Commercial Activity Code Infrastructure Services Code Signs Code as modified by the Kensington s Residential Code Landscaping Code Vehicle Parking and Access Code
Building Work for Industrial development	Self	Industry Near Residences Code Infrastructure Services Code Signs Code as modified by the Kensington Residential Code Landscaping Code Vehicle Parking and Access Code
Building Work for Community Activity, Community Infrastructure, and Utilities	Self	Community Activity Code Infrastructure Services Code Signs Code as modified by the Kensington Residential Code Landscaping Code Vehicle Parking and Access Code
Building Work for Agriculture or Animal Husbandry	Self	Rural Activities Code

Residential Precinct — Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.

An application type indicated as 'Impact Inconsistent' within the development assessment table represents impact assessable development that is unlikely to be consistent with the Plan of Development or the Bundaberg City Plan.

All development within the residential precinct is exempt development in terms of the Ecology Protection Overlay

Defined Use	Type	Applicable codes	
		Primary Codes (in Bold Text)	Other Codes (in plain text)
RECONFIGURING A LOT as defined in section 1.3.5 of the Act			
Amalgamation of 2 or more lots	Exempt	Not Applicable	
Other Reconfiguring a Lot	Code	Kensington Lot Reconfiguration Code	Lot Reconfiguration Code Infrastructure Services Code Filling and Excavation Code Vehicle Parking and Access Code
OPERATIONAL WORK — Not associated with a Material Change of Use or Reconfiguring a Lot application			
Operational Work involving work relating to a residential single unit including driveways, kerb crossovers, internal paths, swimming pool excavation	Self	House Code as amended by this Preliminary Approval	Filling and Excavation Code
Operational Work involving placing an advertising device on premises	Self	Signs Code as modified by the Kensington Residential Code	
Operational Work involving landscaping and not associated with another development application	Code	Kensington Lot Reconfiguration Code	Landscaping Code

Residential Precinct — Development identified in this table as self-assessable that does not comply with the acceptable solutions of the relevant code is code assessable.

An application type indicated as 'Impact Inconsistent' within the development assessment table represents impact assessable development that is unlikely to be consistent with the Plan of Development or the Bundaberg City Plan.

All development within the residential precinct is exempt development in terms of the Ecology Protection Overlay

Defined Use	Type	Applicable codes	
		Primary Codes (in Bold Text)	Other Codes (in plain text)
Operational Work where involving the filling or excavation not exceeding 30 m ³ of material to a depth not exceeding 300mm	Self	Filling and Excavation Code	
Operational Work if involving the filling or excavation of more than 30 m ³ of material to a depth exceeding 300 mm;	Code	Kensington Lot Reconfiguration Code	Filling and Excavation Code
Operational Work where undertaking work other than destroying or removing vegetation not on freehold land in, on, over or under premises that materially affects premises or their use	Code	Kensington Lot Reconfiguration Code	Filling and Excavation Code Infrastructure Services Code
Other Operational Work	Exempt	Not Applicable	

PART 4 — ASSESSMENT CRITERIA

4.1 Explanation of Codes

The plan of development contains—

- (1) a code applying to the entire plan of development area, being the Kensington Lot Reconfiguration Code;
- (2) codes applying to a particular precinct, being—
 - (a) the Kensington Mixed Use Code; and
 - (b) the Kensington Residential Code; and
- (3) amendments to the Bundaberg City Plans House Code

4.1.2 Plan seeks to achieve outcomes

- (1) To remove any doubt, the desired environmental outcomes contained in section 1.1 of the planning scheme continue to have effect.
- (2) The codes included in the plan of development seek to achieve the following levels of outcomes—
 - (a) overall outcomes—stated as the purpose for each code;
 - (b) performance criteria—for codes; and
 - (c) probable solutions—for each performance criterion;³

³ No development within the plan area has been made self assessable against the Plan of Development Codes; however the amendments to the planning schemes House Code contain self-assessable provisions.

4.1.3 Compliance with a code

- (1) Assessable development complies with a code if it is consistent with the performance criteria for that code.
- (2) Self-assessable development complies with a code if it complies with the acceptable solutions for that code.⁴

4.2 Kensington Lot Reconfiguration Code

- (1) The Kensington s Lot Reconfiguration code applies to the entire Plan of Development Area

- (2) Purpose of the code

The purpose of the code is to facilitate development that relates well to the external road, stormwater and open space network; the lands topography and natural site features; and contributes to the creation of—

- (a) an efficient, effective and functionally integrated master planned community with high levels of amenity and accessibility;
- (b) a master planned community that incorporates a park network; a village centre with a range of commercial and community uses; a wide range of dwelling types including detached houses, medium density, high density, and air park housing; and an integrated movement network incorporating roads, streets, cycleways and pedestrian pathways; and
- (c) a major town park within which any drainage elements are designed to reflect th State Planning Policy for Healthy Waterways.

⁴ For development that is self assessable against codes in the planning scheme, including the House Code as amended by this Preliminary Approval.

(3) Performance criteria and probable solutions

PERFORMANCE CRITERIA		SOLUTIONS	
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>		CODE ASSESSMENT – Probable Solutions (illustrate how compliance with the Performance Criteria may be achieved)	
Neighbourhood and Community Structure			
<p>P1. Development contributes to the creation of a master planned residential community providing opportunities for:</p> <ul style="list-style-type: none"> i. The development of a major town park and associated park network; ii. The development of an airpark residential area allowing for direct access from airpark lots to the Bundaberg Airport via a private taxiway system to the airport boundary then via airport taxiway to the runway; iii. Recreation and business uses; iv. A wide range of housing including detached dwellings on suburban sized lots; detached dwellings on small lots; duplexes; townhouses; airpark housing; retirement village; and low rise and medium rise apartments; v. The development of a village centre in close proximity to and focussed on the major town park; incorporating one supermarket based major shopping complex with medium density residential housing, retirement village, community and recreational uses, and business development nearby; and vi. A network of roads, streets and pathways providing for the movement of cars and buses, pedestrians and cyclists. 	<p>S1.1</p>	<p>Development is generally in accordance with the 'Kensington Master Planned Community Conceptual Master Plan' (Appendix 3); and 'Kensington Master Planned Community Structure Plan' (Appendix 1)</p>	
<p>P2. Development facilitates the establishment of a major town park that incorporates planted garden and open space areas; and recreational facilities; and is developed to provide:</p> <ul style="list-style-type: none"> i. A high level of user amenity in terms of passive and active park use, including some or all of planted garden beds, fitness trails, play equipment, recreational playing fields, picnic and BBQ facilities, kiosk, shelters, bandstands, sports equipment, and play courts; ii. Optional water sensitive urban design 	<p>No Solution Prescribed</p>		

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	CODE ASSESSMENT – Probable Solutions (illustrate how compliance with the Performance Criteria may be achieved)
<p>elements</p> <ul style="list-style-type: none"> iii. Visitor carparking iv. High levels of access to recreational opportunities by locating pathways through the park; v. A focal point for the vehicular and non-vehicular movement network within the community; and vi. Clear sight lines and views from the surrounding road and street network to allow frequent glimpses and views to the major town park area 	
<p>P3. Development is compatible with the creation of a village centre located in close proximity to the intersection of an extended Eggmolesse Street and Johanna Boulevard such that:</p> <ul style="list-style-type: none"> i. There is only one village centre in the plan area. ii. The village centre is focused on the town park, and incorporates a supermarket based shopping centre, other commercial and community uses, and mixed use and medium density residential development. iii. The village centre is a primary destination of the vehicular and non-vehicular movement system. 	<p>S3.1 Development is generally in accordance with the 'Kensington Master Planned Community Conceptual Master Plan' (Appendix 3).</p> <p>S3.2 The village centre is located in accordance with the "general location for village centre" as shown on the 'Kensington Master Planned Community Structure Plan' (Appendix 1).</p> <p>S3.3 Any supermarket based shopping centre or major shopping complex that is developed as part of the village centre and that is located proximate to the Eggmolesse Street and Johanna Boulevard intersection is generally in accordance with the 'Village Centre Concept Plan' (Appendix 9)</p>
Roads, Streets and Pathways	
<p>P4. Reconfigured lots contribute to the creation of a master planned community that incorporates a road, street and pathway network that caters for the full range of travel demands including buses, private vehicles, cyclists and pedestrians in a safe, convenient and efficient manner; and in a way that minimises impacts on residential amenity and noise.</p>	<p>S4.1 Development is generally in accordance with the 'Kensington Master Planned Community Conceptual Master Plan' (Appendix 3); and 'Kensington Master Planned Community Structure Plan' (Appendix 1)</p>
<p>P5. The major roads within and abutting the plan area—</p> <ul style="list-style-type: none"> i. are identified as "trunk collector roads" and located generally in accordance with 'Kensington Master Planned Community Structure Plan' (Appendix 1) ii. are suitable for accommodating public bus services with bus stops indented from 	<p>S5.1 The character and function of trunk collector roads is in accordance with table 4.4.1 (a);</p> <p>S5.2 The dimensions of trunk collector roads are in accordance with table 4.4.1 (b);</p> <p>S5.3 The concept design and landscape character of trunk collector roads is in</p>

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	CODE ASSESSMENT – Probable Solutions (illustrate how compliance with the Performance Criteria may be achieved)
<p>the main carriageway and provided such that 90% of all allotments are within 400 metres of a bus stop.</p>	<p>accordance with drawing P1502.DWG.005 (a and b) in Appendix 5;</p> <p>S5.4 Trunk collector roads are heavily landscaped using councils' planting list and/or the planting lists included as Appendix 10 (P1502.DWG.011 (a) to (c))</p> <p>S5.5 Trunk collector roads make provision for buses with indented bus stops generally at the locations shown on the 'Kensington Master Planned Community Structure Plan' (Appendix 1).</p>
<p>P6. The major streets within the plan area—</p> <p>i. are identified as “collector streets” and located generally in accordance with the 'Kensington Master Planned Community Structure Plan' (Appendix 1)</p> <p>ii. are suitable for accommodating public bus services with bus stops indented from the main carriageway and provided such that 90% of all allotments are within 400 metres of a bus stop.</p>	<p>S6.1 The character and function of collector streets is in accordance with table 4.4.1 (a);</p> <p>S6.2 The dimensions of collector streets are in accordance with table 4.4.1 (b);</p> <p>S6.3 The concept design and landscape character of collector streets is in accordance with drawing P1502.DWG.006 (a and b) in Appendix 6;</p> <p>S6.4 Collector streets are heavily landscaped using councils' planting list and/or the planting lists included as Appendix 10 (P1502.DWG.011 (a) to (c))</p> <p>S6.5 Collector Streets make provision for buses with indented bus stops generally at the locations shown on the 'Kensington Master Planned Community Structure Plan' (Appendix 1).</p>
<p>P7. The local street network—</p> <p>i. Is comprised of access streets, and access places</p> <p>ii. fulfils its primary function of linking residential areas to the collector network and providing access to dwellings;</p> <p>iii. is designed to be a heavily landscaped environment with street trees, plantings and other landscape elements combining with narrow carriageways, paved pathways and cycleways, and shaded parking areas</p> <p>iv. is legible and provides direct routes to the</p>	<p>S7.1 The character and function of access streets and access places is in accordance with table 4.4.1 (a);</p> <p>S7.2 The dimensions of access streets and access places are in accordance with table 4.4.1 (b);</p> <p>S7.3 The concept design and landscape character of access streets is in accordance with drawing P1502.DWG.007 (a and b) in Appendix 7;</p> <p>S7.4 The concept design and landscape character of access places is in</p>

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	CODE ASSESSMENT – Probable Solutions (illustrate how compliance with the Performance Criteria may be achieved)
<p>closest neighbourhood focus, the town park, village centre, and the park network;</p> <p>v. minimises through-traffic in residential areas and its potential adverse effects;</p> <p>vi. is effective and efficient in terms of providing a number of alternative routes for pedestrians and cyclists without encouraging rat running of vehicular traffic through residential streets.</p>	<p>accordance with drawing P1502.DWG.008 (a and b) in Appendix 8;</p> <p>S7.5 Local streets are heavily landscaped using councils' planting list and/or the planting lists included as Appendix 10 (P1502.DWG.011 (a) to (c))</p>
<p>P8. The road and street network runs towards or alongside parks and other green spaces where possible, to open up views to these parks from the road and street network.</p>	<p>S8.1 Development is generally in accordance with the 'Kensington Master Planned Community Conceptual Master Plan' (Appendix 3).</p>
<p>P9. A pedestrian footpath network is provided along all roads and streets linking residential areas, and providing safe and convenient access to the Town Park, community facilities, retail, and open space areas within the township. The footpaths are paved; separate from the road or street pavement; and are either dedicated for pedestrian use only or are part of a combined pedestrian / cycle path.</p>	<p>S9.1 Development proposals contribute to the creation of a pathway network throughout the township that provides for a network of paved footpaths for pedestrians that is separate from the road and street pavement and is integrated into the streetscape in accordance with concept design drawings P1502.DWG.005 to 008 in Appendix 5 to Appendix 8.</p>
<p>P10. A bikepath network is provided along all roads and streets linking residential areas, and providing safe and convenient access to the Town Park, community facilities, retail, and open space areas within the township. Bikepaths are paved; and are either part of a combined pedestrian / cycle path or in the case of an access place share the street pavement.</p>	<p>S10.1 Development proposals contribute to the creation of a pathway network that provides for cycle movement throughout the township either via a shared road or street pavement or, a shared cycle / pedestrian pavement in accordance with concept design drawings P1502.DWG.005 to 008 in Appendix 5 to Appendix 8.</p>
Parks and open spaces	
<p>P11. A well-distributed public open space network provides or facilitates—</p> <p>i. access to a range of recreational activities including informal parkland, sporting opportunities, and community gardens</p> <p>ii. an appealing landscape amenity</p> <p>iii. legibility and character within the plan area</p> <p>iv. sufficient park area to satisfy the needs of residents</p>	<p>S11.1 The park network is developed generally in accordance with the 'Kensington Master Planned Community Conceptual Master Plan' (Appendix 3) and the Structure Plan (Appendix 1)</p> <p>S11.2 Not less than 10% of the total site area (approximately 11.5 Ha) of public open space is provided.</p> <p>S11.3 All necessary landscaping and development works are carried out to the parkland to render it useable for its intended purpose</p>

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	CODE ASSESSMENT – Probable Solutions (illustrate how compliance with the Performance Criteria may be achieved)
P12. Public open spaces are readily accessible to people in the catchment they are intended to serve.	S12.1 Public open space other than the side park has not less than 20% of its perimeter bounded by local streets or roads.
P13. Public open space is designed so that it is safe and discourages crime and vandalism and is configured so as to ensure a high degree of casual surveillance.	No Solution Prescribed
P14. Public open space is developed with recreational facilities appropriate to its intended function; and open spaces including road and street reservations are landscaped with suitable species to create an attractive, functional, and green environment.	<p>S14.1 For formal gardens and civic spaces—the public open space includes some or all of:</p> <ul style="list-style-type: none"> i recreational and play facilities; ii shade structures; iii picnic facilities; iv barbeques; and v feature planting. <p>S14.2 Landscaping is carried out using councils' planting list and / or the planting lists included as Appendix 10 (P1502.DWG.011 (a) to (c))</p>
Lot configuration	
P15. Lots are of sufficient size and dimension to accommodate a range of housing options including small lot housing; and to accommodate a range of business, community and commercial uses	<p>S15.1 Lots have a frontage to depth ratio (expressed as a percentage) of not less than 25%.</p> <p>S15.2 Lots have an area and dimensions in line with the following—</p> <ul style="list-style-type: none"> i for land in the Mixed Use Precinct— Residential lots— minimum 400m² area, minimum average width 12 metres; Commercial lots—minimum 300m² area, minimum average width 10m. ii for land in the Residential Precinct—minimum 400m² area, minimum average width 12 metres;
P16. Lot configuration avoids repetitive streetscapes, and streetscapes dominated by pavement.	S16.1 Roads and streets are developed in accordance with drawings P1502.DWG.005 a to b (Appendix 5); P1502.DWG.006 a to b (Appendix 6); P1502.DWG.007 a to b (Appendix 7); P1502.DWG.008 a to b (Appendix 8);

Table 4.4.1 (a) Character and Function of Estate Roads

Road Type	Character and Function	Maximum Number of Dwellings Served	Design Speed
Trunk Collector Road	A road carrying both local and through traffic in a speed-controlled manner and in a reservation with a focus on street trees, separate pedestrian and cycle movement, and heavily landscaped to reflect the primary residential character of the community in which it is located (as depicted on P1502.DWG.005 a and b in Appendix 5)	1000	60 kph
Collector Street	A collector street providing local residential access and local traffic movement in a speed controlled manner and in a reservation with a focus on street trees; a pathway for combined pedestrian and cycle movement on one side, and pedestrian movement on the other; and heavily landscaped to reflect the primary residential character of the community in which it is located (as depicted on P1502.DWG.006 a and b in Appendix 6).	300	60 kph
Access Street	An access street providing local residential access and movement in a low speed environment, with a combined pedestrian and cycle pathway on one side and heavily landscaped to reflect the residential character of the area (as depicted on P1502.DWG.007 a and b in Appendix 7).	75	40 kph
Access place	A minor street providing local residential access with two way or one way (with standing vehicle) pavement; a paved pedestrian footpath on one side; and integrated with shade trees and other plantings and landscape elements, the carriageway is curvilinear and located so as to create a low speed environment that is heavily landscaped to reflect the low density residential character of the area (as depicted on P1502.DWG.008 a and b in Appendix 8).	30	30 kph

Table 4.4.1 (b) Road Dimensions

Road Type	Reserve Width	Description of Carriageway	Pavement Width
Trunk Collector Road	30 metres	Trunk Collector Roads are in accordance with drawings P1502.DWG.005 a and b (in Appendix 5) as follows: Divided carriageway with 2 single lanes separated by planted median; paved pedestrian footpath on one side of carriageway, and paved combined pedestrian pathway / bikeway on the other; no separate on-street parking provision	2 x 4m single lane carriageways, 5m median, 1.5m footpath, 2.5m combined footpath / bikeway.
Collector Street	24 metres	Collector Streets are in accordance with drawings P1502.DWG.006 a and b (in Appendix 6) as follows: Two-way carriageway; indented parallel parking bays on one side (alternating with indented parking bays on the other side), maximum of 2 carparking bays in a row then major street/shade trees with associated planting and ground cover; paved pedestrian footpath on one side; combined paved pedestrian footpath / bikeway on other side	Two way carriageway 7.0m wide (kerb invert to kerb invert); parking bays 2.5m x 5.5m; 2.5m combined footpath/bikeway way; 1.5m wide footpath
Access Street	22 metres	Access Streets are in accordance with drawing	Two way

A s s e s s m e n t C r i t e r i a

Road Type	Reserve Width	Description of Carriageway	Pavement Width
		<p><i>P1502.DWG.007 a and b</i> (in Appendix 7) as follows: Two-way carriageway; indented parallel parking bays on one side (alternating with indented parking bays on the other side), maximum of 2 carparking bays in a row then major street / shade trees with associated planting and ground cover; combined paved pedestrian footpath / bikeway on one side</p>	carriageway 7.0m wide (kerb invert to kerb invert); parking bays 2.5m x 5.5; paved pedestrian/cycle path 2.5m.
Access Place	16 metres	Access Places are in accordance with drawing <i>P1502.DWG.008 a and b</i> (in Appendix 8) as follows: Two way carriageway with paved pedestrian pathway on one side; informal parking and major 'street/shade' trees with associated planting.	5.5m wide carriageway (kerb invert to kerb invert); 1.5m pathway on one side.

4.3 Kensington s—Mixed Use Code

- (1) The Kensington—Mixed Use code applies to the Mixed Use Precinct in the Plan of Development area.
- (2) Purpose of the code
 - (a) to ensure that development within the precinct contributes to the creation of a resort style pedestrian oriented mixed use area incorporating opportunities for:
 - (i) convenience shopping;
 - (ii) a café and eating precinct;
 - (iii) commercial, entertainment and business uses;
 - (iv) clubs, churches, community and civic uses;
 - (v) retirement village and group housing developments;
 - (vi) medium density residential development.;
 - (vii) mixed use buildings.
 - (b) to ensure that development facilitates the establishment of a centrally located village centre at the core of the precinct to service the convenience and daily retail, community service, and social needs of the community;
 - (c) to ensure that development is appropriately sited to protect the amenity of residents and land owners;
 - (d) to provide for a range of accommodation options including low rise and medium rise apartments; townhouses; mixed use buildings incorporating one or more of retail, commercial, and eating places at ground floor and / or first floor level and residential development above; and motel and hotel accomodation for visitors.
- (3) Performance criteria and probable solutions

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	SELF ASSESSMENT – Acceptable Solutions <i>(Illustrate how compliance with the Performance Criteria is to be achieved)</i> CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i>
General	
<p>P1. Car parking areas—</p> <p style="padding-left: 20px;">i. Are not located between the building and any street frontage but to the side or rear of the building; and are located a minimum of 6 metres from any street frontage. (See figure CP1 at the end of the code)</p> <p style="text-align: center;">OR</p> <p style="padding-left: 20px;">ii. Are located a minimum of 2.5 metres from any street frontage and are screened from the frontage by a painted masonry, or stone wall, with associated landscaping. The wall is to be of a height that screens the wheels and body of standard passenger cars in the carpark when viewed from the street. The minimum height of the wall is 1.0 metre above the surface of the carpark at any point. (See figure CP2 at end of the code)</p> <p style="text-align: center;">OR</p> <p style="padding-left: 20px;">iii. Are provided as basement carparks such that the carpark structure does not intrude more than 1.2 metres above ground level at any point.</p>	<p>S1.1 For major shopping complex or supermarket the carparking area is set back behind a dwarf wall in accordance with the second option (CP2 in P1) and the 2.5m setback to the wall is densely landscaped with ground covers and shrubs that blend in with and partially obscure the dwarf wall, and shade trees are provided in the setback area at a minimum of 6m centres.</p>
<p>P2. Where reference is made in the Signs Code to requirements applying to a specific local area precinct in the planning scheme these are applicable to the corresponding land use in this Plan of Development.⁵</p>	<p>S2.1 No Solution Prescribed</p>
Commercial Activity; Industry — Light; Industry — Service; and Recreation Indoor	
<p>P3. Not more than one major shopping complex incorporating a supermarket is developed within the plan area.</p>	<p>No Solution Proposed</p>
<p>P4. Major shopping complex incorporating a supermarket is located in the vicinity of the intersection of the extended Eggmolesse Street and the extended Johanna Boulevard and forms part of the village centre.</p>	<p>S4.1 Major shopping complex incorporating a supermarket is located proximate to the intersection of Johanna Boulevard and the extended Eggmolesse Street and is designed generally in accordance with the 'Village Centre</p>

⁵ For example where the Signs Code specifies standards for signs in the planning schemes Commercial Precincts these standards apply to commercial buildings in the POD's Mixed Use Precinct.

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	SELF ASSESSMENT – Acceptable Solutions <i>(Illustrate how compliance with the Performance Criteria is to be achieved)</i> CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i>
	Concept Plan' (Appendix 9)
<p>P5. The design, scale and siting of buildings and other works—</p> <ul style="list-style-type: none"> i. creates a high quality and visually appealing building form in terms of bulk, height, orientation, materials, and intensity; ii. contributes positively to the streetscape by concentrating and focusing active areas and locating the main pedestrian access toward the street frontage; iii. results in buildings that are visually compatible with and of a similar physical character to adjoining and nearby buildings; and do not impose unacceptable impacts on the amenity of adjoining and nearby buildings within the Plan of Development area; iv. results in buildings with street facing facades that incorporate changes in setback, variations in parapet design, variation in roof heights and slopes, and other design treatments that avoid long unarticulated facades or roofs; and that provide shade and cover from rain over the major external pedestrian pathways; v. results in buildings used for commercial activity A, B or C that have active street frontages with significant areas set aside for display windows, entries, porticos, colonnades and other treatments that avoid long blank facades; and that provide for dedicated pedestrian access separate from any vehicular access driveway; vi. for major shopping complex — is landscaped to provide shade in carparks and a pleasing visual amenity; vii. results in buildings that are 3 storeys in height with a maximum 65% site cover on sites designated as 5 or 5M on the 'Residential Multi-Unit Overlay Plan' (Appendix 4); 	<p>S5.1 Front walls have a maximum unbroken length of 10 metres (15m for a major shopping complex)</p> <p>S5.2 Buildings are oriented toward the street frontage with the main entrance visible from the street</p> <p>S5.3 No openings are provided along that side of a building that is within 10m of a boundary to a site used for residential purposes</p> <p>S5.4 All ground floor façades of buildings used for commercial activity A, B or C that face any street are designed to present an open aspect to the street with the building developed with a minimum of 50% of the total area of the façade made up of display windows or clear glass doors; together with entrance foyers, colonnades, building forecourts or similar features oriented or opening toward the street.</p> <p>S5.5 Buildings at ground floor level are either set back between zero and 6 metres from any street frontage, have an open aspect and are publicly accessible to the street; OR, are set back a minimum of 6 metres and have an open aspect to that street frontage.</p> <p>S5.6 Where an existing building is less than 6 metres from any street frontage, buildings on adjoining sites are setback from that frontage such that the difference in setback is no greater than 2m from the abutting building frontage and that frontage is publicly accessible.</p> <p>S5.7 Full width continuous awnings (not less than 3m wide, with a minimum 3.5m clearance from the underside of the awning to the top of pavement) are provided along facades facing or parallel to any street front and along any pedestrian access pathways abutting any building</p> <p>S5.8 Where a building is setback less than 3m from a side boundary, and is setback less than 6m from the street</p>

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	<p>SELF ASSESSMENT – Acceptable Solutions <i>(Illustrate how compliance with the Performance Criteria is to be achieved)</i></p> <p>CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i></p>
	<p>frontage, the continuous awning is constructed up to that side boundary so as to facilitate uninterrupted pedestrian cover upon development of the adjoining site, or is to connect to any existing awning on that adjoining site.</p> <p>S5.9 For a major shopping complex a minimum of 50% of carparking spaces are sheltered by shade structures; and shade trees are provided in the remainder of the carpark area at the rate of 1 tree per 6 carparking spaces</p> <p>S5.10 Buildings do not exceed an average height of 15 metres above ground level, and not less than an average height of 8m above ground level.</p> <p>S5.11 Maximum plot ratio is 2:1</p>
P6. All external parts of a building (other than the roof, windows, shade and landscape structures, feature walls, and other architectural enhancements) are constructed from painted tilt up slab, painted brick, or painted masonry, and do not incorporate highly reflective materials.	No Solution Prescribed
P7. Outdoor display areas are setback a minimum of 2.5 metres from any street frontage and are screened from the frontage by a painted masonry, or stone wall, with associated landscaping. The wall is to be a minimum height of 900 mm above the level of the display area surface.	No Solution Prescribed
P8. Outdoor storage areas; loading and unloading areas; and non-passenger vehicle parking areas are located to the side or rear of the building and are setback a minimum of 15 metres from the street frontage. These areas are screened by the building, a 2m high painted masonry wall, or a timber screen fence with dense landscaping so as not to be visible from any street or adjoining residential site.	No Solution Prescribed
P9. There is provision for secure and convenient cycle parking spaces, safe cycle access to and from the site, safe cycle movement within the site and end-of-trip cycle facilities, while maintaining the safe movement of pedestrians and other vehicles.	<p>S9.1 Staff cycle parking is to be provided at the rate of one space per 150m² of floor area;</p> <p>S9.2 One locker is provided for every staff cycle space (one locker per 150m² of floor area, minimum);</p>

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	SELF ASSESSMENT – Acceptable Solutions <i>(Illustrate how compliance with the Performance Criteria is to be achieved)</i> CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i>
	<p>S9.3 Shower and change facilities are provided for staff cyclists for buildings or individual tenancies that exceed 250m² in floorspace.</p> <p>S9.4 Cycle visitor parking is provided at a minimum rate of one space per 150m² of floor area;</p> <p>S9.5 Cycle visitors parking is located in a visible area close to the main entrance.</p>
P10. All vehicle parking, access and manoeuvring areas and any outdoor storage areas are sealed with either asphaltic concrete (AC), pavers on concrete, AC, or other stable base; or finished concrete and are drained and constructed with a physical kerb or barrier that prevents vehicular access to landscaped areas and other unsealed parts of the site.	No Solution Prescribed
Community Activity, Community Infrastructure, and Utilities	
P11. All external parts of a building (other than the roof, windows, shade and landscape structures, feature walls, and other architectural enhancements) are constructed from tilt up slab, brick, or masonry, and are painted or painted and rendered, and do not incorporate highly reflective materials. OR If located adjacent to any residential building or buildings, are constructed of material compatible with and similar to the adjoining residential building or buildings	No Solution Prescribed
Residential Dual Occupancy	
P12. Any Residential Dual Occupancy building is 2 storeys above ground.	No Solution Prescribed
P13. Any residential dual occupancy building is located on a minimum 800m ² lot	No Solution Prescribed
P14. Residential Dual Occupancy buildings incorporate a paved and landscaped courtyard accessible from the living area of each unit that includes an area of 30m ² with a minimum dimension of 5m in any direction. This courtyard is screened for privacy by a minimum 1.8 m high wall or fence	No Solution Prescribed
P15. Each unit within a Residential Dual Occupancy building has a minimum floor to	No Solution Prescribed

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	<p>SELF ASSESSMENT – Acceptable Solutions <i>(Illustrate how compliance with the Performance Criteria is to be achieved)</i></p> <p>CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i></p>
ceiling height of 2700mm at ground floor level	
<p>P16. Any Residential Dual Occupancy building with frontage to parkland:</p> <ul style="list-style-type: none"> i. has its living areas oriented toward the parkland; ii. is designed such that any building facade facing the parkland either constitutes, or mimics, the main facade of the building; iii. where the frontage is less than 20% of the average width of the lot, does not orient living areas or present its main facade to the parkland; iv. may incorporate boundary fencing between the building and the parkland; v. any boundary fencing between the building and parkland is a maximum of 1.5m high (above natural ground level) and is constructed of painted masonry, painted brickwork, or stone; combined with see-through fencing for approximately half of the fences area; is of a high visual amenity; and is compatible with fencing on adjoining sites in terms of height, materials, and colours. 	<p>S16.1 Dual occupancy buildings on sites with a frontage to parkland orient living rooms and external living areas, patios, verandahs and porches to face the parkland;</p> <p>S16.2 The façade of any dual occupancy building facing parkland constitutes the main façade of the building</p> <p>S16.3 For lots with two or more boundaries abutting the parkland each façade fronting these boundaries mimics the main façade of the building (i.e. through replicating the design features, scale roof style, extent and type of windows, verandahs etc); and</p> <p>S16.4 Any fencing between the lot and the parkland is a combination of rendered and painted masonry, rendered and painted brickwork, or stone, to blend with the major building on the site; and see-through fencing such that no more than 50% of the length of any fence oriented to the parkland is made up of non “see through” material.</p>
<p>P17. Free standing carports, garages or other outbuildings are consistent and compatible with the design and materials of the major building on the site.</p>	<p>S17.1 Freestanding carports, garages and any other outbuildings are constructed of identical materials to those of the major building on site; and</p> <p>S17.2 Height of freestanding carports, garages and any other outbuildings does not exceed 3m at the eaves line and 5m maximum overall height, unless heights in excess of the above are warranted in terms of compatibility with the design of the main building on the site.</p>

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	SELF ASSESSMENT – Acceptable Solutions <i>(Illustrate how compliance with the Performance Criteria is to be achieved)</i> CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i>
Residential Multi Unit on sites identified on the 'Residential Multi Unit Overlay Plan' (Appendix 4)	
P18. Residential Multi Unit Buildings on any site designated as 5 storeys – <ul style="list-style-type: none"> i. May include publicly accessible cafes, kiosks, restaurants, or snack bars at ground floor level; ii. Do not exceed a height of 5 storeys and 18m above ground level; and iii. Are located on a site with an area of: <ul style="list-style-type: none"> 2,000m² or greater if developed for a 5 storey building; 1,500 m² or greater if developed for a 4 storey building; 1,000 m² or greater if developed for a 2 or 3 storey building. 	No solution prescribed
P19. Residential Multi Unit Buildings on any site designated as 5M — <ul style="list-style-type: none"> i. May include non-residential development at ground and first floor level; ii. Do not exceed a height of 5 storeys and 18 m above ground level; iii. Are located on a site with an area of: <ul style="list-style-type: none"> 2,000 m² or greater if developed for a 5 storey building; 1,500 m² or greater if developed for a 4 storey building; 1,000 m² or greater if developed for a 2 or 3 storey building. 	No solution prescribed
P20. Residential Multi Unit Buildings on any site shown on the 'Residential Multi-Unit Overlay Plan' (Appendix 4) that are 2 storeys or less are subject to the provisions contained in the planning schemes Medium Density Residential Code applicable to sites in the Residential B precinct.	No Solution Prescribed

PERFORMANCE CRITERIA	SOLUTIONS
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<p>P21. Residential Multi Unit Buildings exceeding 2 storeys on any site designated on the 'Residential Multi-Unit Overlay Plan' (Appendix 4), other than those designated 5M have a maximum site coverage of—</p> <ul style="list-style-type: none"> i. 45% at ground and first floor level; ii. 35% for all floors above first floor level. <p>Site cover for this performance criterion does not include publicly accessible ground floor dining areas such as cafes, kiosks, restaurants, and snack bars up to a total maximum 55% site cover at ground level; or landscaped private courtyards at ground level; private balconies at any level; swimming pools, and communal landscaping.</p>	No solution prescribed
<p>P22. Residential Multi Unit Buildings exceeding 2 storeys on any site designated on the 'Residential Multi-Unit Overlay Plan' (Appendix 4), as 5M with a minimum of 40% of ground floor used for non-residential purposes, have a maximum site cover of—</p> <ul style="list-style-type: none"> i. 60% at ground level; ii. 50% at first floor level; iii. 35% for all floors above first floor level. <p>Site cover for this performance criterion does not include publicly accessible ground floor dining areas such as cafes, kiosks, restaurants, and snack bars up to a total maximum 70% site cover at ground level; private balconies at any level; swimming pools, and communal landscaping.</p>	No solution prescribed
<p>P23. Residential Multi Unit Buildings exceeding 2 storeys on any site designated on the 'Residential Multi-Unit Overlay Plan' (Appendix 4), as 5M that have less than 40% of ground floor used for non-residential purposes, have a maximum site coverage of—</p> <ul style="list-style-type: none"> i. 45% at ground and first floor level; ii. 35% for all floors above first floor level. <p>Site cover for this performance criterion does not include publicly accessible ground floor dining areas such as cafes, kiosks, restaurants, and snack bars up to a total maximum 55% site cover at ground level; or landscaped private courtyards at ground</p>	No solution prescribed

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	SELF ASSESSMENT – Acceptable Solutions <i>(Illustrate how compliance with the Performance Criteria is to be achieved)</i> CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i>
level; private balconies at any level; swimming pools, and communal landscaping.	
<p>P24. Any Residential Multi Unit Building on a site shown on the 'Residential Multi-Unit Overlay Plan' (Appendix 4), has the following setback from the street frontage or town park:</p> <p>Any building within the 5M designation:</p> <ul style="list-style-type: none"> i. with 40% or more of the ground level used for non-residential purposes, and on a site located on a frontage marked 'A' on the 'Residential Multi-Unit Overlay Plan' (Appendix 4), has a minimum of 60% of its ground floor façade setback between zero to 4 metres from that street frontage; ii. with 40% or more of the ground level used for non-residential purposes, and on a site located on a frontage marked 'B' on the 'Residential Multi-Unit Overlay Plan' (Appendix 4), has a minimum of 40% of the ground floor façade setback between zero to 4 metres from that street frontage; iii. The non-residential ground floor referred to in (i) and (ii) above has a publicly accessible active interface with the street; iv. with less than 40% of the ground level used for non-residential purposes, is setback between zero to 6 metres from the street frontage v. above first floor level the building is setback a minimum of 6 metres from the street frontage <p>Any building other than those with a 5 designation:</p> <ul style="list-style-type: none"> vi. Has a minimum 6 metre setback from the street frontage <p>Any building with a frontage to the town park:</p> <ul style="list-style-type: none"> vii. The building is setback a minimum of 10 metres from the boundary with the park; provided that at ground level a maximum of 30% of the length of the façade is within zero to 4 metres of the boundary, if that part is used for publicly accessible ground floor dining areas such as cafes, kiosks, restaurants, and snack bars and has an active interface with the park. 	<p>S24.1 Any ground floor façade within zero to 4 metres of the street or town park has a publicly accessible active interface with the street or park, with the area of blank wall making up less than 35% of the total area of the façade; and is comprised of display windows, public dining areas, wide glass doorways, or other elements that open up the ground floor use to the public footpath or park.</p>
P25. Residential Multi Unit Buildings on any site	S25.1 On sites abutting other residential or

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	<p>SELF ASSESSMENT – Acceptable Solutions <i>(Illustrate how compliance with the Performance Criteria is to be achieved)</i></p> <p>CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i></p>
<p>shown on the 'Residential Multi-Unit Overlay Plan' (Appendix 4), do not have an adverse impact on the amenity of adjoining sites or the nearby area, in terms of overlooking, noise, glare, overshadowing, or traffic impact; and are designed to provide a high level of amenity to occupants.</p>	<p>prospective residential buildings no unscreened window is closer to a side or rear boundary than 4m at ground and first floor level and 6m above first floor level.</p> <p>S25.2 Rear boundary setback is not less than half the height of the building at any point or 6m whichever is lesser (minimum 3 metre setback).</p> <p>S25.3 Side boundary setbacks for ground and first floor levels to be half the height at any point, minimum setback 3m; and 6m for level 2 and above.</p> <p>S25.4 For levels 2 and above any balcony can protrude into the 6m minimum setback area a maximum distance of 2m, provided the balcony is fitted with adjustable louvers or similar device designed to minimise overlooking of any adjacent private open space and to provide for passive climate control.</p> <p>S25.5 Any air conditioning unit or plant, or any other plant and equipment located at or about ground level are screened by landscaping and solid fencing / walls so as to reduce noise and are not located within 3 m of any site boundary.</p> <p>S25.6 Any air conditioning plant and other plant and equipment not at or about ground level are screened and baffled to reduce noise and are not located within 6 m of any site boundary.</p> <p>S25.7 Screening of noise generating plant and equipment complies with the <i>Environmental Protection (Noise) Policy 1997</i>.</p>
<p>P26. Windows, doors and balconies of buildings are oriented on site, incorporate passive climate control design elements so as to minimise the use of air conditioning.</p>	<p>S26.1 Windows, glass doors and balconies are screened from the north, east and west by external adjustable vertical louvers (or equivalent) to provide passive climate control and to minimise unwanted direct heat gain from solar penetration.</p>
<p>P27. Any residential multi-unit building on a site shown on the 'Residential Multi-Unit Overlay Plan' (Appendix 4),</p> <p>i. incorporates a balcony or landscaped</p>	<p>S27.1 A landscaped courtyard is provided off the living area of each ground floor unit that includes an area of 16m² with a minimum dimension of 4m in any</p>

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	SELF ASSESSMENT – Acceptable Solutions <i>(Illustrate how compliance with the Performance Criteria is to be achieved)</i> CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i>
courtyard off the living area of each unit that enables a table and chairs for a minimum of 6 persons to be comfortably accommodated; and ii. incorporates units with a minimum floor to ceiling height of 2700mm.	direction. S27.2 A balcony is provided off the living area of each unit above ground floor level that includes an area of 12m ² with a minimum dimension of 3m in any direction.
P28. Any Residential Multi Unit Building on a site shown on the 'Residential Multi-Unit Overlay Plan' (Appendix 4),— with direct frontage to the parkland i. has its living areas oriented toward the parkland; ii. is designed such that any building façade facing the parkland either constitutes, or mimics, the main façade of the building; iii. where the frontage is less than 20% of the average width of the lot, does not orient living areas or present its main façade to the parkland; iv. may incorporate boundary fencing between the building and the parkland; v. any boundary fencing between the building and the parkland is a maximum of 1.5m high (above natural ground level) and is constructed of painted masonry, painted brickwork, or stone, combined with see-through fencing for approximately half of the fences area; is of a high visual amenity; and is compatible with fencing on adjoining sites in terms of height, materials and colours.	S28.1 Residential multi-unit buildings on sites with a frontage to parkland orient living rooms and external living areas, patios, verandahs and porches to face the parkland; S28.2 The façade of any residential multi-unit building facing parkland constitutes the main façade of the building; S28.3 For lots with two or more boundaries abutting the parkland each façade fronting these boundaries mimics the main façade of the building (i.e. through replicating the design features, scale, roof style, extent and type of windows, verandahs etc); S28.4 Any fencing between the lot and the parkland is a combination of rendered and painted masonry, rendered and painted brickwork, or stone, to blend with the major building on the site; and see through fencing such that no more than 50% of the length of any fence oriented to the or parkland is made up of non 'see through' material.
P29. Buildings and associated parking and service areas are designed and located on the site such that they do not have an undue detrimental impact on adjoining or nearby buildings or open space areas, and do not cause undue overshadowing, noise or visual impacts.	S29.1 For all development exceeding 3 storeys an amenity impact report is prepared and submitted to Council that addresses the potential impacts of the building on the amenity of adjoining and nearby buildings and open space areas. The report addresses the impact of the building in terms of views from nearby dwelling units and public spaces, and proposes measures to ensure that any impacts in this regard are minimised; the report includes a shadow analysis that demonstrates that following; the development of the building sunlight penetration is not impeded to habitable rooms of adjoining dwelling units and open

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	<p>SELF ASSESSMENT – Acceptable Solutions <i>(Illustrate how compliance with the Performance Criteria is to be achieved)</i></p> <p>CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i></p>
	space areas between 9am and 3pm on 21 March and 21 September.
P30. Buildings are designed to present a pedestrian oriented aspect to the main street frontage where carparking and service areas do not dominate; and with human activity, landscaping and recreation areas prominent.	<p>S30.1 The main pedestrian access is from the primary street frontage; vehicular access is separate from the pedestrian access, with any areas of potential conflict minimised; and driveways and carparking do not dominate the main street frontage;</p> <p>S30.2 Car parking, waste disposal and clothes drying areas are integrated into the design of the building and are screened from view from any street frontage or park area;</p> <p>S30.3 Resident and tenant carparking areas are not located between the street or park frontage but are provided predominantly as basement parking;</p> <p>S30.4 Visitor parking is to be signposted and readily accessible from the street.</p>
P31. Waste disposal facilities are provided that are sufficiently separated from dwelling units, and screened, to avoid any noise, odour, or out of hours activity that would interfere with the quiet enjoyment of residents.	S31.1 A communal waste collection facility is provided that is in a well-ventilated part of the building or grounds; is screened with a solid 2 metre high screen on at least three sides; and that is situated close to the collection point
P32. For buildings with both non residential and residential components a high degree of separation is provided so as to safeguard of amenity, privacy, security and identity for residents and their visitors.	<p>S32.1 Separate pedestrian entry areas for residential and non residential building users are provided, are clearly signposted, well lit, and located to ensure resident and visitor safety;</p> <p>S32.2 Separate carparking areas are provided for residential and non residential users of the building, and are clearly signposted, safe and secure;</p> <p>S32.3 The non residential components of any building are designed and located such that they have negligible impact on residents or their visitors in terms of noise, vibration, odour, or 'out of hours' activity.</p>
P33. Free standing carports, garages or other outbuildings are consistent and compatible with the design and materials of the major building on the site.	<p>S33.1 Freestanding carports, garages, and any other outbuildings are constructed of identical materials to those of the major building on site; and</p> <p>S33.2 Height of freestanding carports,</p>

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	SELF ASSESSMENT – Acceptable Solutions <i>(Illustrate how compliance with the Performance Criteria is to be achieved)</i> CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i>
	garages and any other outbuildings does not exceed 3m at the eaves line and 5m maximum overall height, unless heights in excess of the above are warranted in terms of compatibility with the design of the main building on the site.
Residential Multi Unit on sites other than those identified on the 'Residential Multi-Unit Overlay Plan' (Appendix 4),	
P34. The siting, scale, density, design and other aspects of residential multi unit buildings is consistent with the requirements for Residential B areas in the Medium Density Residential Code except as modified by this code;	Not Solution Prescribed
P35. Any Residential Multi Unit Building on a site with frontage to parkland <ul style="list-style-type: none"> i. has its living areas oriented toward the parkland; ii. is designed such that any building façade facing the parkland either constitutes, or mimics, the main façade of the building; iii. where the frontage is less than 20% of the lot, does not orient living areas or present its main façade to the parkland; iv. may incorporate boundary fencing between the building and the parkland; v. any boundary fencing between the building and the parkland is a maximum of 1.5m high (above natural ground level) and is constructed of painted masonry, painted brickwork, or stone; combined with see through fencing; is of a high visual amenity; and is compatible with fencing on adjoining sites in terms of height, materials and colours. 	S35.1 Residential multi-unit buildings on sites with a frontage to parkland orient living rooms and external living areas, patios, verandahs and porches toward the parkland; S35.2 The façade of any residential multi-unit building facing parkland constitutes the main façade of the building; S35.3 For lots with two or more boundaries abutting the parkland each façade fronting these boundaries mimics the main façade of the building (i.e. through replicating the design features, scale, roof style, extent and type of windows, verandahs etc); S35.4 Any fencing between the lot and the parkland is a combination of rendered and painted masonry, rendered and painted brickwork, or stone, to blend with the major building on the site; and see through fencing such that no more than 50% of the length of any fence oriented to the parkland is made up of non 'see through' material.

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	<p>SELF ASSESSMENT – Acceptable Solutions <i>(Illustrate how compliance with the Performance Criteria is to be achieved)</i></p> <p>CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i></p>
<p>P36. Any residential multi unit building</p> <p style="margin-left: 20px;">i. incorporates a balcony or paved courtyard off the living area of each unit that enables a table and chairs for a minimum of 6 persons to be comfortably accommodated; and</p> <p style="margin-left: 20px;">ii. Incorporates units with a minimum floor to ceiling height of 2700mm.</p>	<p>S36.1 A paved courtyard is provided off the living area of each ground floor unit that includes an area of 16m² with a minimum dimension of 4m in any direction.</p> <p>S36.2 A balcony is provided off the living area of each unit above ground floor level that includes an area of 12m² with a minimum dimension of 3m in any direction.</p>
<p>P37. Any residential multi unit building other than a bed and breakfast establishment, relocatable home park, or a retirement village is a maximum of 3 storeys or 12m above ground; and a minimum of 2 storeys above ground.</p>	No Solution Prescribed
<p>P38. Any residential multi-unit building greater than 2 storeys or 10m above ground is located on a site with an area of 2000m² or greater.</p>	No Solution Prescribed
<p>P39. Any plant and equipment is located, screened and landscaped such that it minimises any impact on adjoining and nearby premises in terms of noise, glare and other nuisance.</p>	<p>S39.1 Any air conditioning units or plant, or any other plant and equipment located at or about ground level is screened by landscaping and solid fencing/walls so as to reduce noise and are not located within 3 m of any site boundary.</p> <p>S39.2 Any air conditioning plant and other plant and equipment not at or about ground level is screened and baffled to reduce noise and is not located within 6 m of any site boundary.</p> <p>S39.3 Screening of noise generating plant and equipment complies with the <i>Environmental Protection (Noise) Policy 1997</i>.</p>
<p>P40. Free standing carports, garages or other outbuildings are consistent and compatible with the design and materials of the major building on the site.</p>	<p>S40.1 Freestanding carports, garages, and any other outbuildings are constructed of identical materials to those of the major building on site; and</p> <p>S40.2 Height of freestanding carports, garages and any other outbuildings does not exceed 3m at the eaves line and 5m maximum overall height, unless heights in excess of the above are warranted in terms of compatibility with the design of the main building on the site.</p>
Residential Special – Tourism Facility	

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	SELF ASSESSMENT – Acceptable Solutions <i>(Illustrate how compliance with the Performance Criteria is to be achieved)</i> CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i>
P41. The siting, design, landscaping, and operating characteristics of any tourism development is efficient and aesthetically pleasing and is compatible in function; of a similar scale; and in keeping with the predominant character of buildings in the locality; and contributes positively to the existing streetscape amenity.	No Solution Prescribed

Table 4.1 — Minimum Lot Dimensions for different development types

Development Type	Minimum lot size	Minimum Frontages
Residential Dual Occupancy	800m ²	20 m
Residential Multi Unit other than bed and breakfast establishment, group housing, and retirement village,	<p>When on a site identified on the 'Residential Multi-Unit Overlay Plan' (Appendix 4), as 5 or 5M – 2000m² for a 5 storey building; 1500m² for a 4 storey building; 1000m² for a 2 or 3 storey building.</p> <p>OR</p> <p>When not on a site identified on the 'Residential Multi-Unit Overlay Plan' (Appendix 4) — 1000m² for a 2 storey building; and 2000m² for a 3 storey building.</p>	20m
Bed and Breakfast Establishment	800m ²	20m
Group Housing	1500m ²	N/A
Retirement Village	1 hectare	N/A

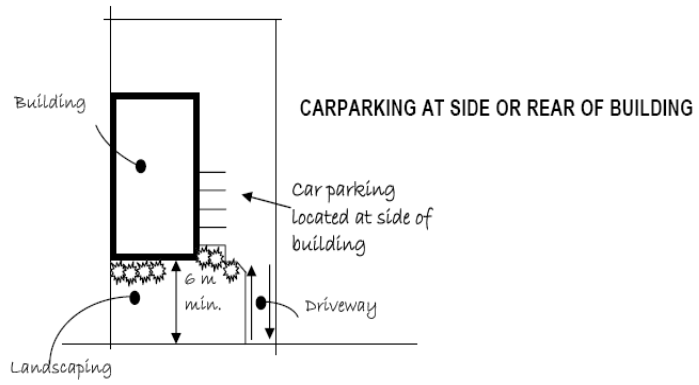


Figure — CP1

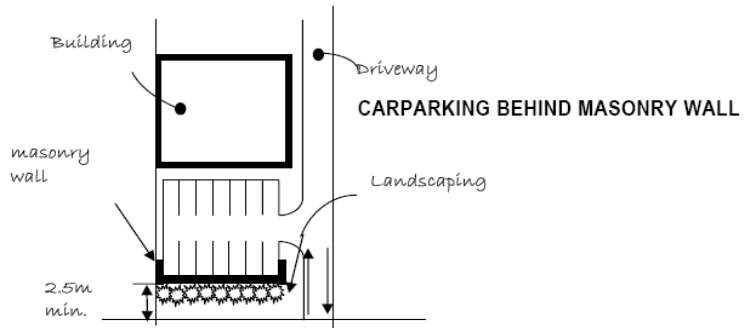


Figure — CP2

4.4 Kensington—Residential Code

- (1) The Kensington Residential Code applies to the Residential Precinct in the Plan of Development Area
- (2) Purpose of the code

The purpose of the code is to ensure that development within the precinct—

- (a) provides a range of accommodation options for residents including residential single unit dwellings, dual occupancy dwellings and low rise apartments on larger sites;
- (b) provides for development that is appropriately sited to—
 - (i) ensure a high level of amenity for residents; and
 - (ii) protect the amenity of adjoining residents and land owners;
- (c) provides for development that maximizes the opportunity for views and recreational opportunities related to the Town Park and park network
- (d) provides for design controls that maximize the visual amenity of buildings
- (e) provides for development in the airpark that incorporates hangars for the accommodation of aircraft in a way that—
 - (i) does not preclude the provision of adequate private open space and vehicle parking areas on-site; and,
 - (ii) allows adequate solar access to, and privacy of, adjoining premises;
 - (iii) is integrated and under the same roof as the primary building on the site, or is connected to the dwelling or primary building by outbuildings, walls, pergolas or other architectural structures to present the appearance of connectivity to the main building on the site;

- (iv) is subordinate to the main building on site by having a lesser scale, height and floor area, is made of materials similar or compatible with the materials used in the main building; and is sited so that when viewed from public places or streets is attractive, proportionate to, and visually compatible with the residential character of the locality;

(2) Performance criteria and probable solutions

PERFORMANCE CRITERIA		SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>		SELF-ASSESSABLE – Acceptable Solutions <i>(illustrate how compliance with the Performance Criteria will be achieved)</i> CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i>
General		
P1.	Where reference is made in the Signs Code to requirements applying to a specific local area precinct in the planning scheme these are applicable to the corresponding land use in this Plan of Development ⁶	No Solution Prescribed
Community Activity; Community Infrastructure; and Utilities		
P2.	All external parts of a building (other than the roof, windows, shade and landscape structures, feature walls, and other architectural enhancements) are constructed from tilt up slab, brick, or masonry, and are painted or painted and rendered, and do not incorporate highly reflective materials. OR Are constructed of material similar to or compatible with the adjoining residential buildings	No Solution Prescribed
Residential Dual Occupancy		
P3.	Any Residential Dual Occupancy building is 2 storeys above ground.	No Solution Prescribed
P4.	Any residential dual occupancy building is located on a minimum 800m ² lot	No Solution Prescribed

⁶ For example where the Signs Code specifies standards for signs in the planning schemes Residential B Precincts these standards apply to residential multi-unit buildings in the POD's Residential Precinct.

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	<p>SELF-ASSESSABLE – Acceptable Solutions <i>(illustrate how compliance with the Performance Criteria will be achieved)</i></p> <p>CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i></p>
P5. Residential Dual Occupancy buildings incorporate a paved and landscaped courtyard accessible from the living area of each unit that includes an area of 30m ² with a minimum dimension of 5m in any direction	No Solution Prescribed
P6. Each unit within a Residential Dual Occupancy building has a minimum floor to ceiling height of 2700mm at ground floor level.	No Solution Prescribed
<p>P7. Any Residential Dual Occupancy building with frontage to parkland;</p> <ul style="list-style-type: none"> i. has its living areas oriented toward the parkland; ii. is designed such that any building façade facing the parkland either constitutes, or mimics, the main façade of the building; iii. where the frontage is less than 20% of the average width of the lot, does not orient living areas or present its main façade to the parkland; iv. may incorporate boundary fencing between the building and the parkland; v. any boundary fencing between the building and the parkland is a maximum of 1.5m high (above natural ground level) and is constructed of painted masonry, painted brickwork, or stone; combined with see-through fencing for approximately half of the fences area; is of a high visual amenity; and is compatible with fencing on adjoining sites in terms of height, materials and colours. 	<p>S7.1 Dual occupancy buildings on sites with frontage to parkland orient living rooms and external living areas, patios, verandahs and porches to face the parkland;</p> <p>S7.2 The façade of any dual occupancy building facing parkland constitutes the main façade of the building;</p> <p>S7.3 For lots with two or more boundaries abutting the parkland each façade fronting these boundaries mimics the main façade of the building (i.e. through replicating the design features, scale, roof style, extent and type of windows, verandahs etc);</p> <p>S7.4 Any fencing between the lot and the parkland is a combination of rendered and painted masonry, rendered and painted brickwork, or stone, to blend with the major building on the site; and see through fencing such that no more than 50% of the length of any fence oriented to the parkland is made up of non 'see through' material.</p>
P8. Free standing carports, garages or other outbuildings are consistent with the design and materials of the major building on the site.	<p>S8.1 Freestanding carports and garages are constructed out of identical materials to those of the major building on site; and</p> <p>S8.2 Height of freestanding carports, garages and any other outbuildings does not exceed 3m at the eaves line and 5m maximum overall height, unless heights in excess of the above are warranted in terms of compatibility with the design of the main building on the site.</p>

PERFORMANCE CRITERIA		SOLUTIONS	
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>		SELF-ASSESSABLE – Acceptable Solutions <i>(illustrate how compliance with the Performance Criteria will be achieved)</i> CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i>	
Residential Multi Unit			
P9.	The siting, scale, density, design and other aspects of residential multi unit buildings is consistent with the requirements for Residential A areas in the Medium Density Residential Code except as modified by this code;	No Solution Prescribed	
P10.	Any Residential Multi Unit Building on a site with direct frontage to parkland <ul style="list-style-type: none"> i. has its living areas oriented toward the parkland; ii. is designed such that any building facade facing the parkland either constitutes, or mimics, the main facade of the building; iii. where the frontage is less than 20% of the average width of the lot, does not orient living areas or present its main facade to the parkland; iv. may incorporate boundary fencing between the building and the parkland; v. any boundary fencing between the building and parkland is a maximum of 1.5m high (above natural ground level) and is constructed of painted masonry, painted brickwork, or stone; combined with see through fencing for approximately half of the fences area; is of a high visual amenity; and is compatible with fencing on adjoining site in terms of height, materials and colours. 	S10.1	Any residential multi-unit building on a site with frontage to parkland orients any living rooms and external living areas, patios, verandahs and porches to face the parkland;
		S10.2	The facade of any residential multi-unit building facing parkland constitutes the main facade of the building;
		S10.3	For lots with two or more boundaries abutting the parkland each facade fronting these boundaries mimics the main facade of the building (i.e. through replicating the design features, scale, roof style, extent and type of windows, verandahs etc);
		S10.4	Any fencing between the lot and the parkland is a combination of rendered and painted masonry, rendered and painted brickwork, or stone, to blend with the major building on the site; and see through fencing such that no more than 50% of the length of any fence oriented to the parkland is made up of non 'see through' material.
P11.	Any residential multi-unit building: <ul style="list-style-type: none"> i. incorporates a balcony or paved courtyard off the living area of each unit that enables a table and chairs for 6 persons to be comfortably accommodated; and ii. Incorporates units with a minimum floor to ceiling height of 2700mm. 	S11.1	A paved courtyard is provided off the living area of each ground floor unit that includes an area of 16m ² with a minimum dimension of 4m in any direction.
		S11.2	A balcony is provided off the living area of each unit above ground floor level that includes an area of 12m ² with a minimum dimension of 3m in any direction.

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	<p>SELF-ASSESSABLE – Acceptable Solutions <i>(illustrate how compliance with the Performance Criteria will be achieved)</i></p> <p>CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i></p>
P12. Any residential multi-unit building other than a bed and breakfast establishment, a relocatable home park, or a retirement village is a maximum of 3 storeys or 12m above ground; and a minimum of 2 storeys above ground.	Not Applicable
P13. Any residential multi-unit building greater than 2 storeys or 10m above ground is located on a site with an area of 5000 m ² or greater and is developed at a maximum density of 85 persons per hectare.	Not Applicable
P14. Other than provided for in P13 residential multi-unit buildings are developed at a maximum density of 50 persons per hectare.	Not Applicable
P15. Any plant and equipment is located, screened and landscaped such that it minimises any impact on adjoining and nearby premises in terms of noise, glare and other nuisance.	<p>S15.1 Any air conditioning units or plant, or any other plant and equipment located at or about ground level are screened by landscaping and solid fencing/walls so as to reduce noise and are not located within 3 m of any site boundary.</p> <p>S15.2 Any air conditioning plant and other plant and equipment not at or about ground level are screened and baffled to reduce noise and are not located within 6 m of any site boundary.</p> <p>S15.3 Screening of noise generating plant and equipment complies with the <i>Environmental Protection (Noise) Policy 1997</i>.</p>
P16. Free standing carports, garages or other outbuildings are consistent and compatible with the design and materials of the major building on the site.	<p>S16.1 Freestanding carports, garages, and any other outbuildings are constructed of identical materials to those of the major building on site; and</p> <p>S16.2 Height of freestanding carports, garages and any other outbuildings does not exceed 3m at the eaves line and 5m maximum overall height, unless heights in excess of the above are warranted in terms of compatibility with the design of the main building on the site.</p>
Development on a site in the air park residential area	

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	SELF-ASSESSABLE – Acceptable Solutions <i>(illustrate how compliance with the Performance Criteria will be achieved)</i> CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i>
P17. Any hangar to accommodate aircraft is located within the airpark residential area shown on the 'Kensington Master Planned Community Structure Plan' (Appendix 4) and developed— <ul style="list-style-type: none"> i. at the same time as or following the construction of the primary building on the site; and ii. is ancillary and subordinate in scale to the primary building. 	No Solution Proposed
P18. Any residential building within the airpark residential area is constructed in a way that achieves compliance with the applicable Australian Noise Standard.	S18.1 Any residential building within the airpark residential area is constructed such that the requirements of AS 3671 – 1987 in terms of indoor design sound levels are met in accordance with AS 2107 – 2000
P19. Any hangar on a site in the airpark residential area is — <ul style="list-style-type: none"> i. Setback not less than 3m from the boundary with the taxiway; ii. physically integrated with and forms part of the major building on the site; OR iii. If developed as a separate building, is integrated with the major building on the site by being connected by outbuildings, walls, pergolas or other architectural structures; and iv. constructed from painted masonry, brickwork or other material that is compatible with the materials used for the major building on the site, and provides for noise attenuation. 	S19.1 Hangars do not exceed— <ul style="list-style-type: none"> i width of 15m ii depth of 10m iii height of 6m iv may have partial mezzanine level within the hangar associated with the operations of the hangar S19.2 Hangars are constructed of— <ul style="list-style-type: none"> i Walls—painted masonry OR materials matching the major building on the site; ii Roof—factory-painted steel; OR matching the roof of the major building on the site; and, iii Doors fronting taxiway and associated trimmings— factory-painted steel; or proprietary hangar rolling/tilting or folding doors, or to match architecture of the major building on the site.
P20. Free standing carports, garages or other outbuildings are similar to and consistent and compatible with the design and materials of the major building on the site.	S20.1 Freestanding carports, garages, and any other outbuildings are constructed of identical materials to those of the major building on site; and

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	SELF-ASSESSABLE – Acceptable Solutions <i>(illustrate how compliance with the Performance Criteria will be achieved)</i> CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i>
	S20.2 Height of freestanding carports, garages and any other outbuildings does not exceed 3m at the eaves line and 5m maximum overall height, unless heights in excess of the above are warranted in terms of compatibility with the design of the main building on the site.

4.5 Amendments to the Bundaberg City Plan House Code





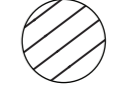


The Bundaberg City Plan House Code is amended by the addition of the new sections as set out below.

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	SELF-ASSESSABLE – Acceptable Solutions <i>(illustrate how compliance with the Performance Criteria will be achieved)</i> CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i>
General	
P1. Free standing carports, garages or other outbuildings are compatible with the design of the major building on the site.	S1.1 Height of freestanding carports, garages and any other outbuildings does not exceed 3m at the eaves line and 5m maximum overall height.
Development on a site abutting parkland	
P2. Any residential building on a site with frontage to parkland: <ul style="list-style-type: none"> i. Has its living areas oriented toward the parkland; ii. Is designed such that any building façade facing the parkland either constitutes, or mimics, the main façade of the building; iii. Where that frontage is less than 20% of the average width of the lot, does not orient living areas or present its main façade to the parkland; iv. May incorporate boundary fencing between the building and the parkland; v. Any boundary fencing between the building and the parkland is a maximum of 1.5m high (above natural ground level) and is constructed of painted masonry, 	S2.1 Any residential building on a site with a frontage to parkland orients any living rooms and external living areas, patios, verandahs and porches to face the parkland; S2.2 The façade of any residential building facing parkland constitutes the main façade of the building; S2.3 For lots with two or more boundaries abutting the parkland each façade fronting these boundaries mimics the main façade of the building (i.e. through replicating the design features, scale, roof style, extent and type of windows, verandahs etc.); S2.4 Any fencing between the lot and the parkland is a combination of rendered and painted masonry,

PERFORMANCE CRITERIA	SOLUTIONS
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>	<p>SELF-ASSESSABLE – Acceptable Solutions (illustrate how compliance with the Performance Criteria will be achieved)</p> <p>CODE ASSESSMENT – Probable Solutions (illustrate how compliance with the Performance Criteria may be achieved)</p>
<p>Painted brickwork, or stone; combined with see-through fencing for approximately half of the fences area; is of a high visual amenity; and is compatible with fencing on adjoining sites in terms of height, materials and colours.</p>	<p>rendered and painted brickwork, or stone, to blend with the major building on the site; and see-through fencing such that no more than 50% of the length of any fence oriented to the parkland is made up on non “see through” material.</p>
Development on a site with a frontage to a taxiway	
<p>P3. Hangars to accommodate aircraft are ancillary to and subordinate in scale to the main building on site; and are constructed at the same time as, or following the construction of the main building on the site.</p>	<p>S3.1 Any hangar to accommodate aircraft is located within the airpark residential area shown on the Structure plan and developed –</p> <ul style="list-style-type: none"> i at the same time as or following the construction of the primary building on the site; and ii is ancillary and subordinate in scale to the primary building.
<p>P4. Any residential building within the airpark residential area is constructed in a way that achieves compliance with the applicable Australian Noise Standard.</p>	<p>S4.1 Any residential building within the airpark residential area is constructed such that the requirements of AS 3671 – 1987 in terms of indoor design sound levels are met in accordance with AS 2107 – 2000.</p>
<p>P5. Any hangar on a site in the airpark residential area is –</p> <ul style="list-style-type: none"> i. setback not less than 3m from the boundary with the taxiway; ii. physically integrated with and forms part of the major building on the site; OR iii. if developed as a separate building, is integrated with the major building on the site by being connected by outbuildings, walls, pergolas or other architectural structures; and iv. is of a subordinate scale to the major building on the site; and v. constructed from painted masonry, brickwork or other material matching the major building on the site, and provides for noise attenuation. 	<p>S5.1 Hangars do not exceed –</p> <ul style="list-style-type: none"> i Width of 15m ii Depth of 10m iii Height of 6m iv May have partial mezzanine level within the hangar associated with the operations of the hangar <p>S5.2 Hangars are constructed of –</p> <ul style="list-style-type: none"> i Walls – painted masonry OR materials matching the major building on the site; ii Roof – factory painted steel OR matching the roof of the major building on the site; and, iii Doors fronting taxiway and associated trimmings – factory painted steel; or proprietary hangar rolling/tilting or folding doors; or to match architecture of the major building on the site.

PERFORMANCE CRITERIA		SOLUTIONS	
<i>The purpose of the code may be achieved if the following criteria are satisfied</i>		SELF-ASSESSABLE – Acceptable Solutions <i>(illustrate how compliance with the Performance Criteria will be achieved)</i> CODE ASSESSMENT – Probable Solutions <i>(illustrate how compliance with the Performance Criteria may be achieved)</i>	
Residential Display Home			
P6.	Display homes maintain levels of noise, lighting, traffic, waste generation and physical appearance that are consistent with adjacent residential development and do not cause any undue impacts on amenity.	S6.1	Hours of operation are within the hours of 8.30am to 6.00pm
		S6.2	Any bunting or other material used to draw attention to the site (other than approved or complying signs) is removed at the end of each day and is not permanently in place
		S6.3	Display home is of a similar intensity and character to nearby residential development

**APPENDIX 1 — POD 3 - STRUCTURE
PLAN**

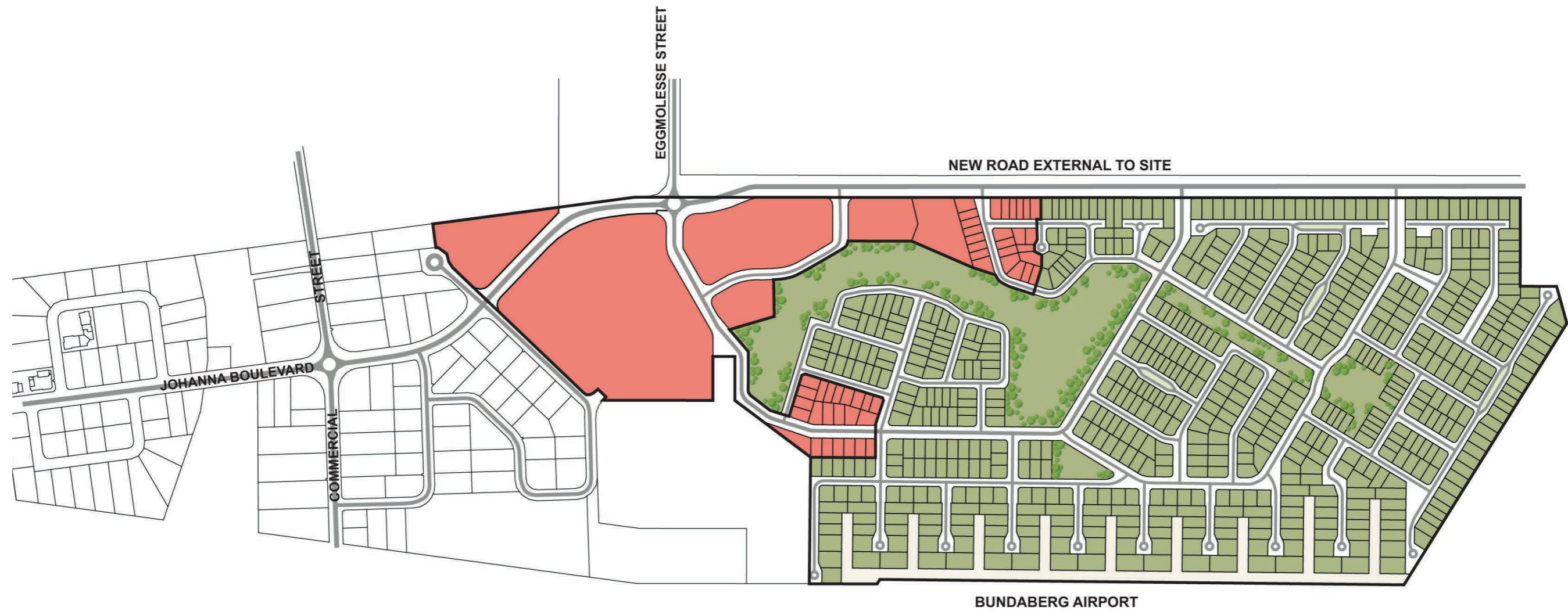
	Master Planned Community
	Town Park
	Roads Trunk Collector
	Collector Streets
	General Location of Village Centre
	Air Park Residential
	Indicative Location of Bus Stop



Issue	Revision	Int	Date
A	Original issue	AV	15/12/17
B	Removed road from super park	AV	19/09/19

**APPENDIX 2—POD 3 - PRECINCT
PLAN**

	Mixed Use Precinct
	Residential Precinct

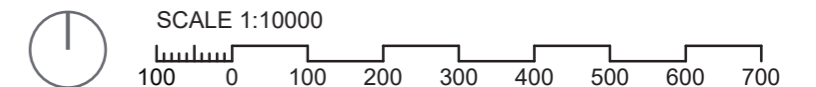


Issue	Revision	Int	Date
A	Original issue	AV	15/12/17
B	Removed road from super park	AV	19/09/19

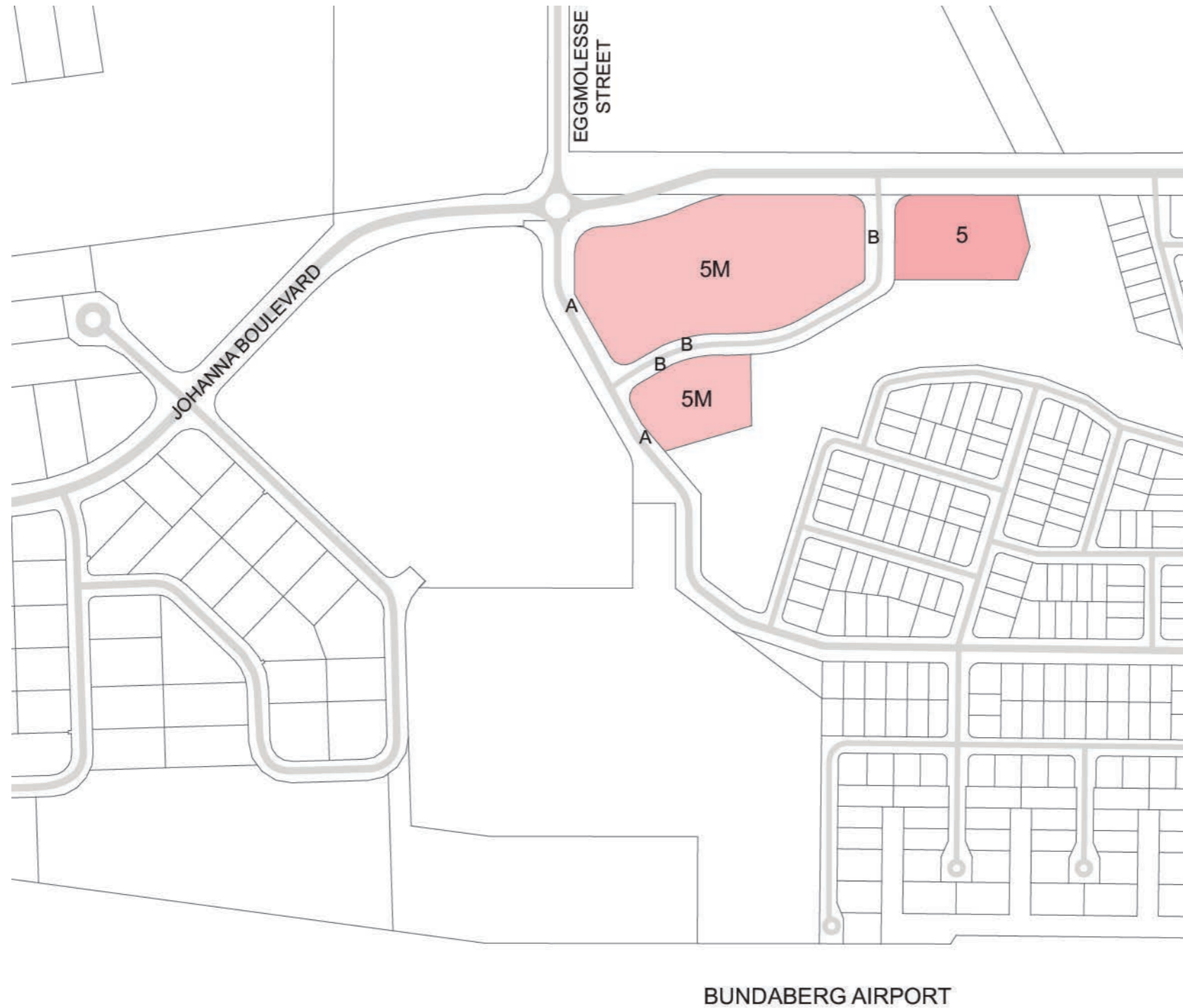
**APPENDIX 3—POD 3 - CONCEPTUAL
MASTER PLAN**



Issue	Revision	Int	Date
A	Original issue	AV	15/12/17
B	Removed road from super park	AV	19/09/19



**APPENDIX 4—POD 3 - RESIDENTIAL
MULTI UNIT OVERLAY
PLAN**



- 5 Area in which residential multi-unit buildings are allowable by code assessable application to the number of stories shown and in accordance with the provisions set out in the Mixed Use code
- 5M Residential multi-unit buildings with potential for non residential use at ground and first floor level, maximum number of stories (5)
- A Building setback in accordance with S 24.1 (i) of the Kensington Mixed Use code
- B Building setback in accordance with S 24.1 (ii) of the Kensington Mixed Use code

Issue	Revision	Int	Date
A	Original issue	AV	15/12/17
B	Removed road from super park	AV	19/09/19

Residential Multi-Unit Overlay Area Plan

Kensington Master Planned Community

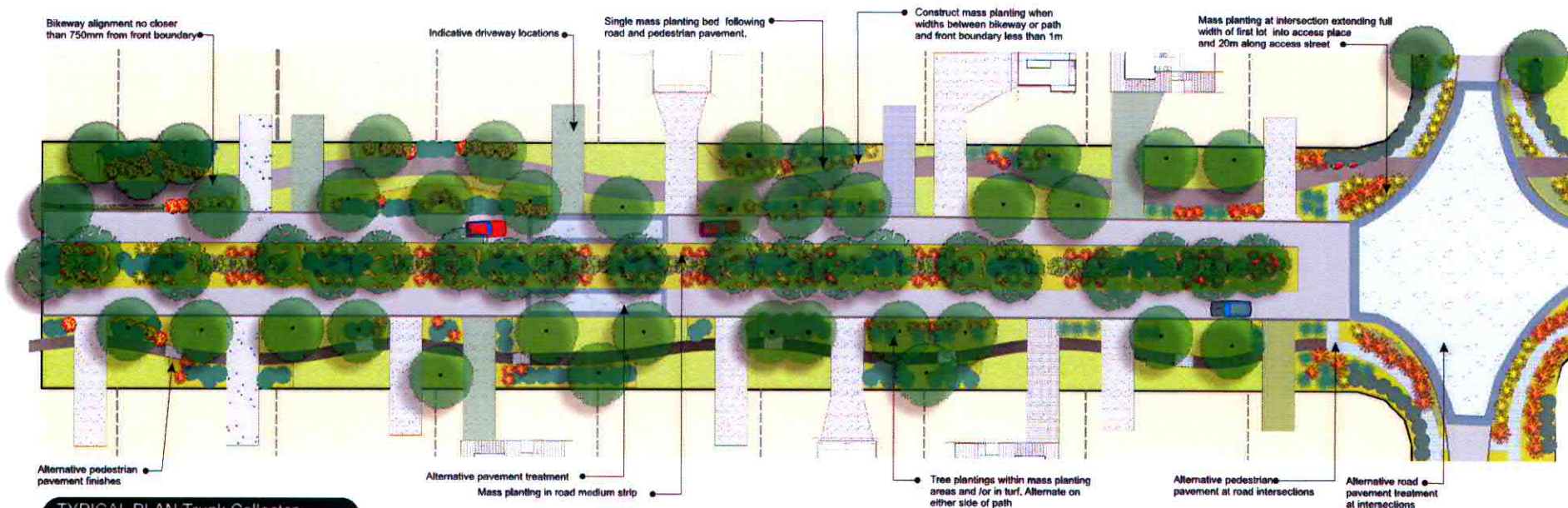
Description Lot 50 on SP291184
 Local Authority Bundaberg Regional Council



This plan has been prepared by DTS as a proposal plan and should not be used for any other purpose. The information contained on this plan is approximate only, has not been verified and may be subject to change. The intellectual property on this plan remains the property of DTS.

Project **BNE170765** Drawing **A3 5484**
 Date **19/09/2019** Revision **B**

**APPENDIX 5 — POD 3 - TRUNK
COLLECTOR ROAD**



TYPICAL PLAN Trunk Collector

1. Road Pavement

- a. Road Pavement alignment shall be uniform in alignment and width.
- b. The road pavement finish shall be varied at 100 m intervals.
- c. The length of the alternative surface finish shall be no less than 20m and no longer than 30m, to the full width of the road.
- d. The road pavement shall be varied at the intersection of all road intersections.
Alternative surface finishes can include:
 - Exposed Aggregate Concrete;
 - Exposed Aggregate Concrete with Oxide;
 - Natural Stone Pavement set in grout; and
 - Or other approved surface finish.
- e. Preference should be given to the use of "roll over kerb".

2. Pedestrian Pavement

- a. Pedestrian pavement shall be curvilinear using the following as guides, to a width of 1.5m:
 - no closer than 750mm to the front boundary;
 - no closer than 1000mm to the back of kerb and channel;
 - have a radii no less than 50m; and
 - no greater than 55m.
- b. The pavement shall exhibit variation through panels of colour or textural change i.e grinding back should the construction use cast in-situ concrete(honing). Such panels would be at a maximum of 25m centres or at intersections of other pedestrian pavements or intersections of other roads. Preference should be given to cast in-situ pavement or fully grouted unit pavements.

3. Bikeway

- a. Bikeway pavement shall be curvilinear to 2.5m width and installed to the following radii:
 - no less than 750mm to the front boundary;
 - no less than 1000mm to the back of kerb and channel;
 - have a radii no less than 70m; and
 - no greater than 95m.
- b. The pavement shall exhibit variation through panels of colour or textural change i.e grinding back should the construction use cast in-situ concrete(honing). Such panels shall be located at approaches to road intersections
- c. Preference should be given for alternative finishes using textural changes to cast in-situ pavement or fully grouted unit pavements.

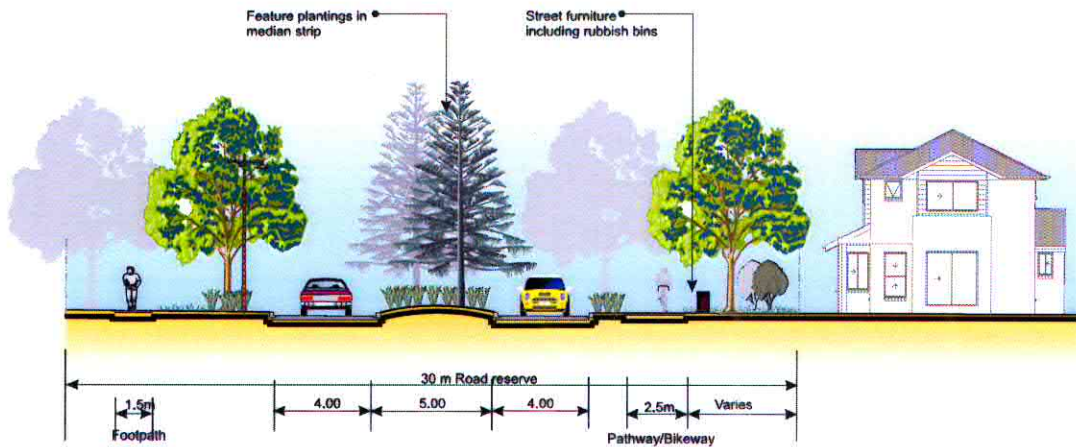
4. Tree planting

- a. Tree planting shall be undertaken at the average rate of 4 trees per allotment.
- b. Trees to be planted singularly at spacings of between 7 and 9m or in groupings, alternating on each side of the pedestrian path.
- c. Trees to be planted in mass planting beds and trees not located in mass planting beds shall be contained in a mulched collar 1m square.
- d. Selection of species shall be undertaken from the master plant list.
- e. No tree shall be planted closer than 3m from a driveway and no closer than 10 m from a road corner.
- f. No tree shall be planted closer than 1m from back of kerb and channel, path or front boundary.
- h. Tree planting's shall be no closer than 2m from an electrical/communication pit or water service and 5m from a street light.
- i. Species selection shall be limited to four species per each Trunk Collector, unless otherwise approved
- j. All tree stock at the time of planting shall have a minimum branch clearance of 1.2m.
- k. Maintain a pedestrian access way of a minimum of 2m.

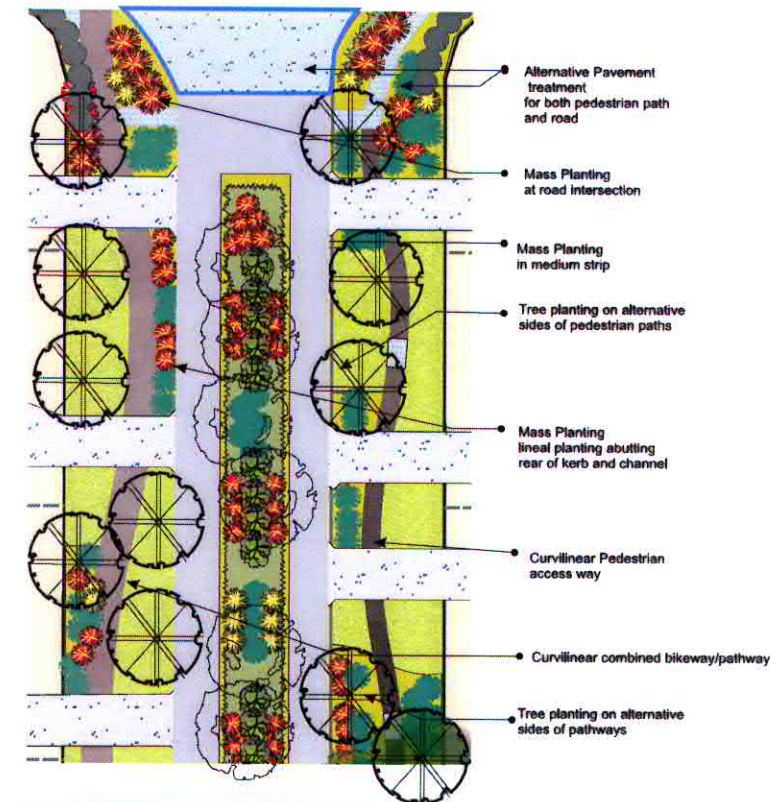
Definition
Soft landscape - that area that contains no hard pavements such as Pedestrian/Bikeway paths, driveways and roadways.
Mass Planting - Areas of planting having groups of trees, shrubs and groundcovers, defined by an edge and having a mulch cover.

TRUNK COLLECTOR

Dwg #: P1502.DWG.005 a



TYPICAL SECTION Trunk Collector



TYPICAL LAYOUT Trunk Collector

5. Mass planting

- a. Mass planting (or garden) areas shall make up between 25 and 35% of the soft landscape areas within the road reserve.
- b. Mass planting dimensions shall be as follows:
 - no less than 2m wide;
 - no less than 10m long;
 - or any areas between hard pavements and or property boundaries 1 m and less.
- c. Mass planting areas shall, where no formed pathway exists, be designed to provide for a pedestrian access way of between 1.5 and 2m width.
- d. Mass planting design shall provide for CEPTED 3 overarching criteria;
 - natural surveillance, including vehicular site lines.
 - provide natural access control
 - ensure regard for context and space/growing conditions.
- e. All mass planting areas to be contained within a durable edge such as concrete.
- f. Mass planted areas shall be at planting densities of 2 plants per square metre, using a minimum 140mm stock.
- g. All mass planting to have organic mulch applied to a depth of 100mm. No in-organic mulch (gravels etc.) unless for specific drainage or feature purposes shall be used.

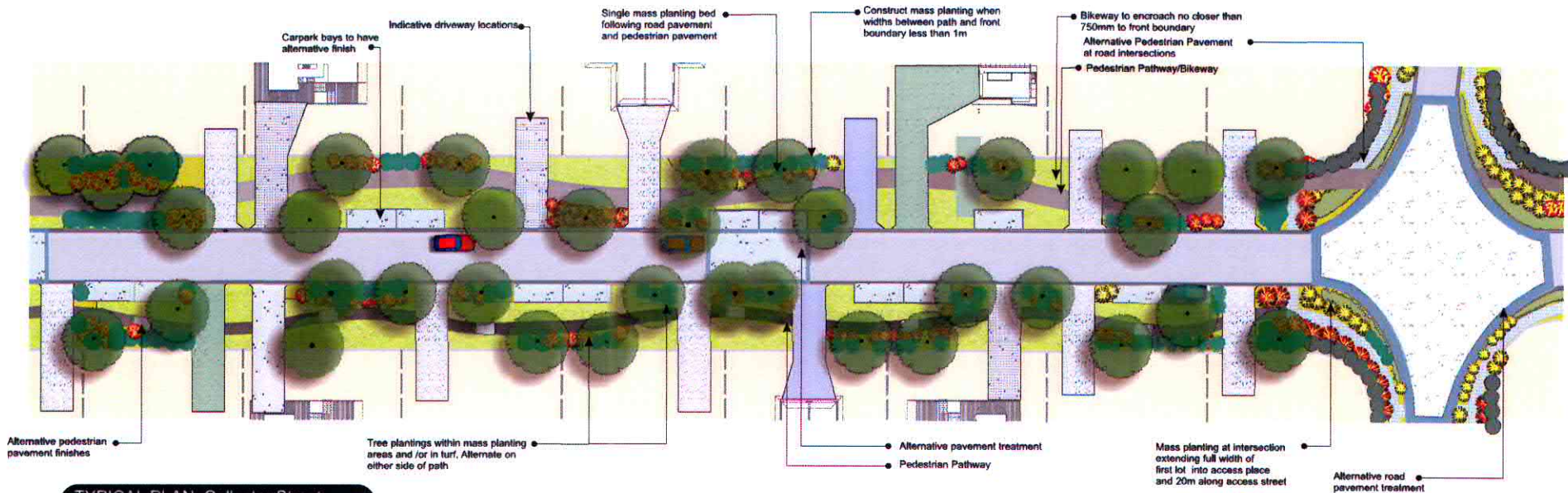
6. Turf

- a. All road reserve areas shall be turfed using A grade material on a prepared base.
- b. Turf to have a minimum 25mm sod.

7. Irrigation

- a. All mass planting areas to be irrigated using an automated system.
- b. The system shall be designed in accordance with AS 3500. All systems shall be approved based on compliance to manufacturers recommendations with an approved backflow prevention device if potable supply is used or approved filtration using non potable supply.
- c. The system shall be designed using an inline drip or subsurface system.
- d. Vandal resistant containment shall be incorporated for all critical components.
- e. All drip lines are to be buried at 100mm depth using purpose made lines or as per manufacturers recommendations.
- f. All systems are to be approved based on scaled and accurate drawings.

**APPENDIX 6—POD 3 - COLLECTOR
STREET**



TYPICAL PLAN Collector Street

1. Road Pavement

- a. Road Pavement alignment shall be uniform in alignment and width.
- b. The road pavement finish shall be varied at 100 m intervals.
- c. The length of the alternative surface finish shall be no less than 10m and no longer than 30m, to the full width of the road.
- d. The road pavement shall be varied at the intersection of all road intersections.
Alternative surface finishes can include:
- Exposed Aggregate Concrete;
- Exposed Aggregate Concrete with Oxide;
- Natural Stone Pavement set in grout; and
- Or other approved surface finish.
- e. Preference should be given to the use of "roll over kerb".

2. Pedestrian Pavement

- a. Pedestrian pavement shall be curvilinear to a width of 1.5m using the following as guides;
- no closer than 750mm to the front boundary;
- no closer than 1000mm to the back of kerb and channel;
- have a radii no less than 50m; and
- no greater than 55m.
- b. The pavement shall exhibit variation through panels of colour or textural change i.e grinding back should the construction use cast in-situ concrete (*honing*). Such panels would be at a maximum of 25m centres or at intersections of other pedestrian pavements or intersections of other roads. Preference should be given to cast in-situ pavement or fully grouted unit pavements.

- c. All paths shall be designed in accordance to AS 1428
- d. All paths shall be designed for long term durability.

3. Combined Pedestrian Pathway/Bikeway

- a. Pathway/Bikeway pavement shall be curvilinear to 2.5m width and installed to the following radii:
- no closer than 750mm to the front boundary;
- no closer than 1000mm to the back of kerb and channel;
- have a radii no less than 70m; and
- no greater than 95m.
- b. The pavement shall exhibit variation through panels of colour or textural change i.e grinding back should the construction use cast in-situ concrete (*honing*). Such panels shall be located at approaches to road intersections
- c. Preference should be given for alternative finishes using textural changes to cast in-situ pavement or fully grouted unit pavements.
- d. All paths shall be designed in accordance to AS 1428.
- e. All paths shall be designed for long term durability.

4. Tree planting

- a. Tree planting shall be undertaken at the average rate of 2 trees per allotment.
- b. Trees to be planted singularly at spacings of between 7 and 9m or in groupings, alternating on each side of the pedestrian pathway and combined path/bikeway.
- c. Trees to be planted in mass planting beds and trees not located in mass planting beds shall be contained in a mulched collar 1m square.
- d. Selection of species shall be undertaken from the master plant list.
- e. No tree shall be planted closer than 3m from a driveway and no closer than 10 m from a road corner.
- f. No tree shall be planted closer than 1m from back of a durable edge.
- h. Tree planting's shall be no closer than 2m from an electrical/communication pit or water service and 5m from a street light.
- i. Species selection shall be limited to four species per each Trunk Collector, unless otherwise approved.
- k. All tree stock at the time of planting shall have a minimum branch clearance of 1.2m.
- l. Maintain a pedestrian access way of a minimum of 2m.

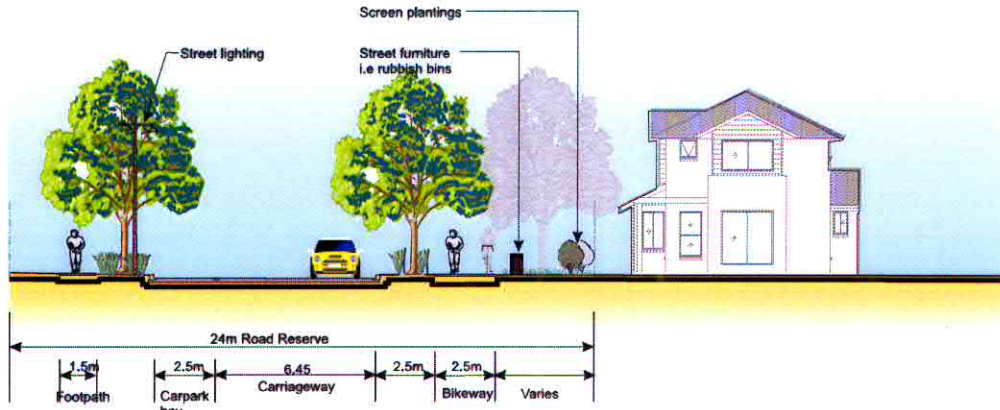
5. Carparking

- a. Street side parking bays must alternate each side of the road and cannot be located directly opposite each other.
- b. No more than 2 carparking bays can be included in any streetside parking.
- c. All designated streetside parking bays must be entirely constructed in an alternative pavement finish.

Definition
Soft landscape - that area that contains no hard pavements such as Pedestrian/Bikeway paths, driveways and roadways.
Mass Planting - Areas of planting having groups of trees, shrubs and groundcovers, defined by an edge and having a mulch cover.

COLLECTOR STREET

Dwg #. P1502.DWG.006 a



TYPICAL SECTION Collector Street

6. Mass planting

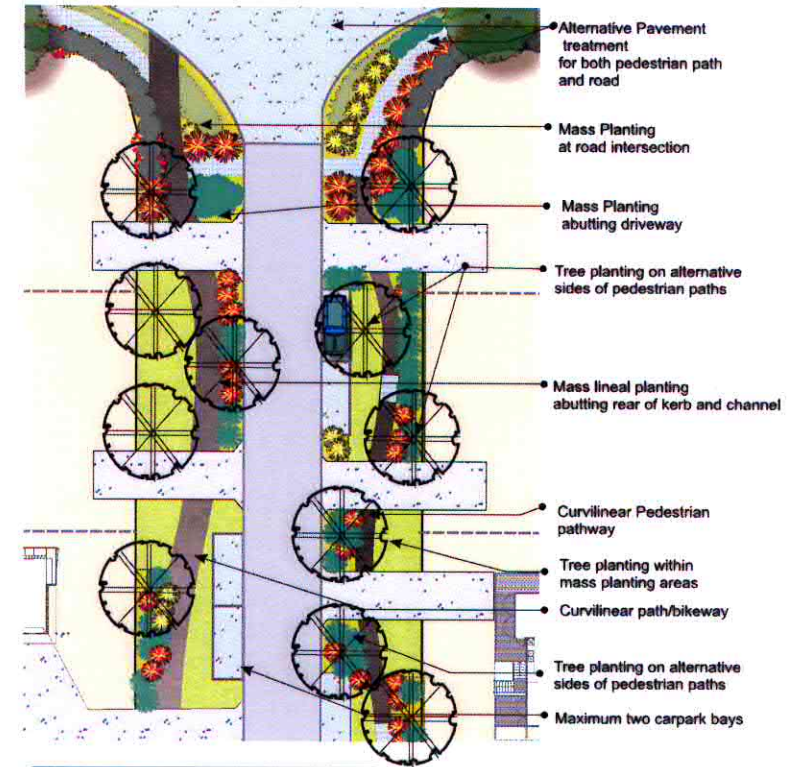
- a. Mass planting (or garden) areas shall make up between 25 and 30% of the soft landscape areas within the road reserve.
- b. Mass planting dimensions shall be as follows:
 - no less than 2m wide;
 - no less than 5m long;
 - or any areas between hard pavements and or property boundaries 1 m and less.
- c. Mass planting areas shall, where no formed pathway exists, be designed to provide for a pedestrian access way of between 1.5 and 2m width.
- d. Mass planting design shall provide for CEPTED 3 overarching criteria;
 - natural surveillance, including vehicular site lines.
 - provide natural access control
 - ensure regard for context and space/growing conditions.
- e. All mass planting areas to be contained within a durable edge such as concrete.
- f. Mass planted areas shall be at planting densities of 2 plants per square metre, using a minimum 140mm stock.
- g. All mass planting to have organic mulch applied to a depth of 100mm. No in-organic mulch (gravels etc.) unless for specific drainage or feature purposes shall be used.

7. Turf

- a. All road reserve areas shall be turfed using A grade material on a prepared base.
- b. Turf to have a minimum 25mm sod.

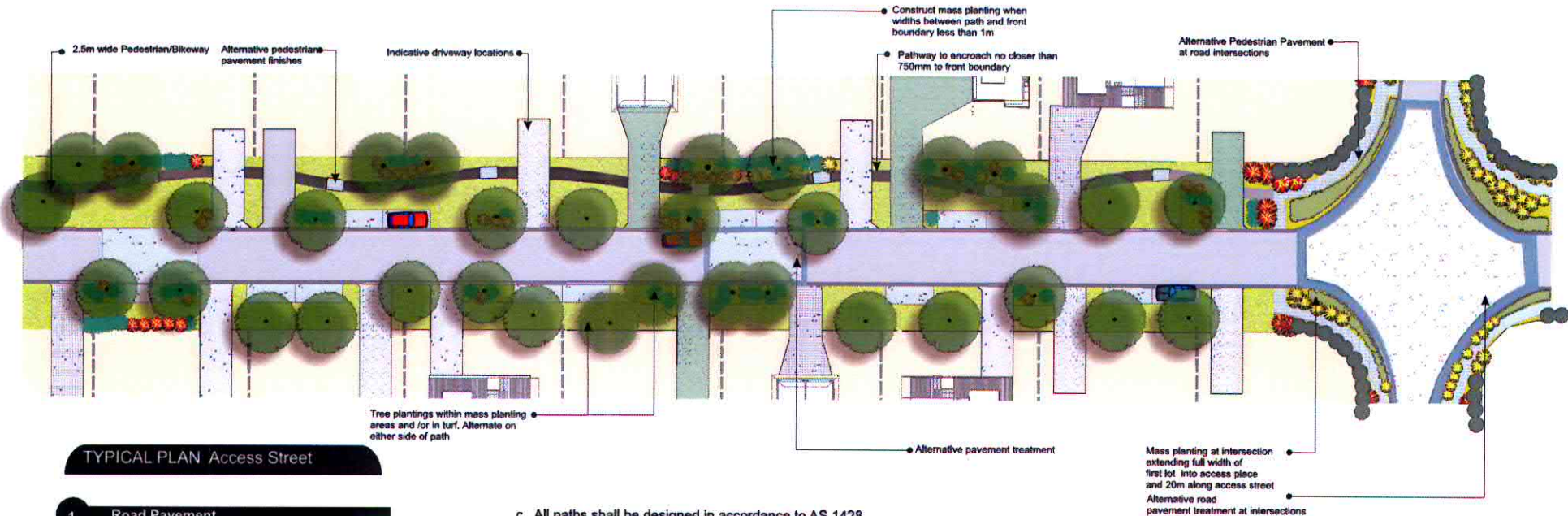
8. Irrigation

- a. All mass planting areas to be irrigated using an automated system.
- b. The system shall be designed in accordance with AS 3500. All systems shall be approved based on compliance to manufacturers recommendations with an approved backflow prevention device if potable supply is used or approved filtration using non potable supply.
- c. The system shall be designed using an inline drip or subsurface system.
- d. Vandal resistant containment shall be incorporated for all critical components.
- e. All drip lines are to be buried at 100mm depth using purpose made lines or as per manufacturers recommendations.
- f. All systems are to be approved based on scaled and accurate drawings.



TYPICAL LAYOUT Collector Street

**APPENDIX 7—POD 3 - ACCESS
STREET**



TYPICAL PLAN Access Street

1. Road Pavement

- a. Road Pavement alignment shall be uniform in alignment and width. Alternatives to alignment will be considered where engineering considerations allow.
- b. The road pavement finish shall be varied at 80 m intervals.
- c. The length of the alternative surface finish shall be no less than 10m and no longer than 30m, to the full width of the road.
- d. The road pavement shall be varied at the intersection of all road intersections.
Alternative surface finishes can include:
- Exposed Aggregate Concrete;
- Exposed Aggregate Concrete with Oxide;
- Natural Stone Pavement set in grout; and
- Or other approved surface finish.
- e. Preference should be given to the use of "roll over kerb".

2. Pedestrian Pavement/Bikeway

- a. Pedestrian pavement shall be curvilinear to a width of 2.5m using the following as guides;
- no closer than 750mm to the front boundary;
- no closer than 1000mm to the back of kerb and channel;
- have a radii no less than 50m; and
- no greater than 55m.
- b. The pavement shall exhibit variation through panels of colour or textural change i.e grinding back should the construction use cast in-situ concrete (*honing*). Such panels would be at a maximum of 25m centres or at intersections of other pedestrian pavements or intersections of other roads. Preference should be given to cast in-situ pavement or fully grouted unit pavements.

- c. All paths shall be designed in accordance to AS 1428
- d. All paths shall be designed for long term durability.

3. Tree planting

- a. Tree planting shall be undertaken at the average rate of 2 trees per allotment.
- b. Trees to be planted singularly at spacings of between 7 and 9m or in groupings, alternating on each side of the pedestrian path.
- c. Trees to be planted in mass planting beds and trees not located in mass planting beds shall be contained in a mulched collar 1m square.
- d. Selection of species shall be undertaken from the master plant list.
- e. No tree shall be planted closer than 3m from a driveway and no closer than 10 m from a road corner.
- f. No tree shall be planted closer than 1m from back of a durable edge.
- h. Tree planting's shall be no closer than 2m from an electrical/communication pit or water service and 5m from a street light.
- i. Species selection shall be limited to four species per each Trunk Collector, unless otherwise approved
- j. All tree stock at the time of planting shall have a minimum branch clearance of 1.2m.
- k. Maintain a pedestrian access way of a minimum of 2m.

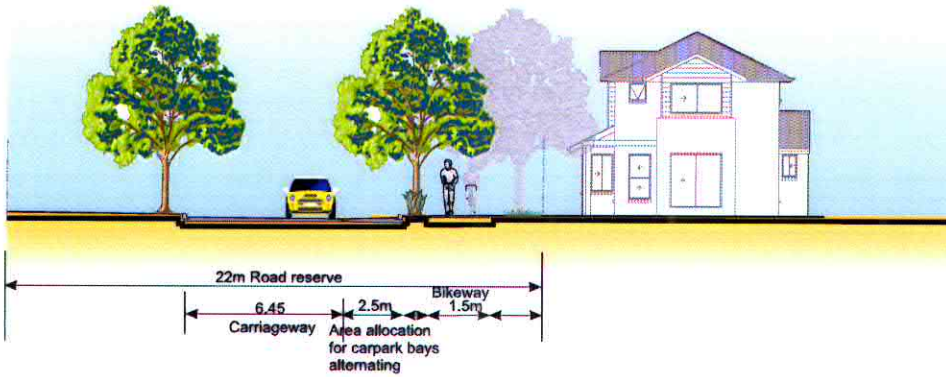
4. Carparking

- a. Street side parking bays must alternate each side of the road and cannot be located directly opposite each other.
- b. No more than 2 carparking bays can be included in any streetside parking.
- c. All designated streetside parking bays must be entirely constructed in an alternative pavement finish.

Definition
Soft landscape - that area that contains no hard pavements such as Pedestrian/Bikeway paths, driveways and roadways.
Mass Planting - Areas of planting having groups of trees, shrubs and groundcovers, defined by an edge and having a mulch cover.

ACCESS STREET

Dwg #. P1502.DWG.007 a



TYPICAL SECTION Access Street

5. Mass planting

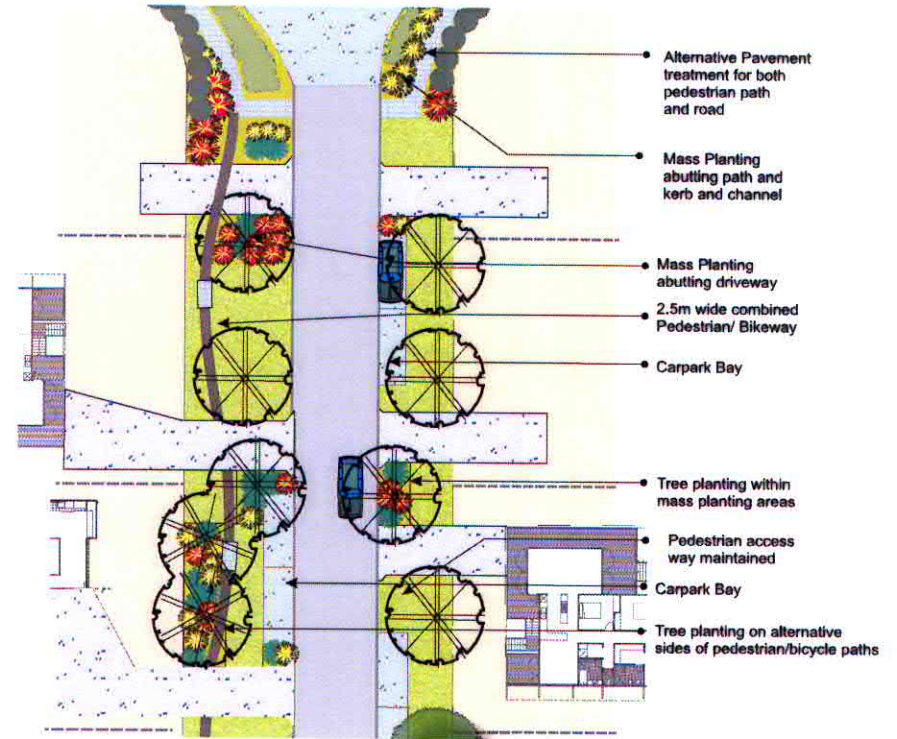
- a. Mass planting (or garden) areas shall make up between 25 and 30% of the soft landscape areas within the road reserve.
- b. Mass planting dimensions shall be as follows:
 - no less than 2m wide;
 - no less than 5m long;
 - or any areas between hard pavements and or property boundaries 1 m and less.
- c. Mass planting areas shall, where no formed pathway exists, be designed to provide for a pedestrian access way of between 1.5 and 2m width.
- d. Mass planting design shall provide for CEPTED 3 overarching criteria;
 - natural surveillance, including vehicular site lines.
 - provide natural access control
 - ensure regard for context and space/growing conditions.
- e. All mass planting areas to be contained within a durable edge such as concrete.
- f. Mass planted areas shall be at planting densities of 2 plants per square metre, using a minimum 140mm stock.
- g. All mass planting to have organic mulch applied to a depth of 100mm. No in-organic mulch (gravels etc.) unless for specific drainage or feature purposes shall be used.

6. Turf

- a. All road reserve areas shall be turfed using A grade material on a prepared base.
- b. Turf to have a minimum 25mm sod.

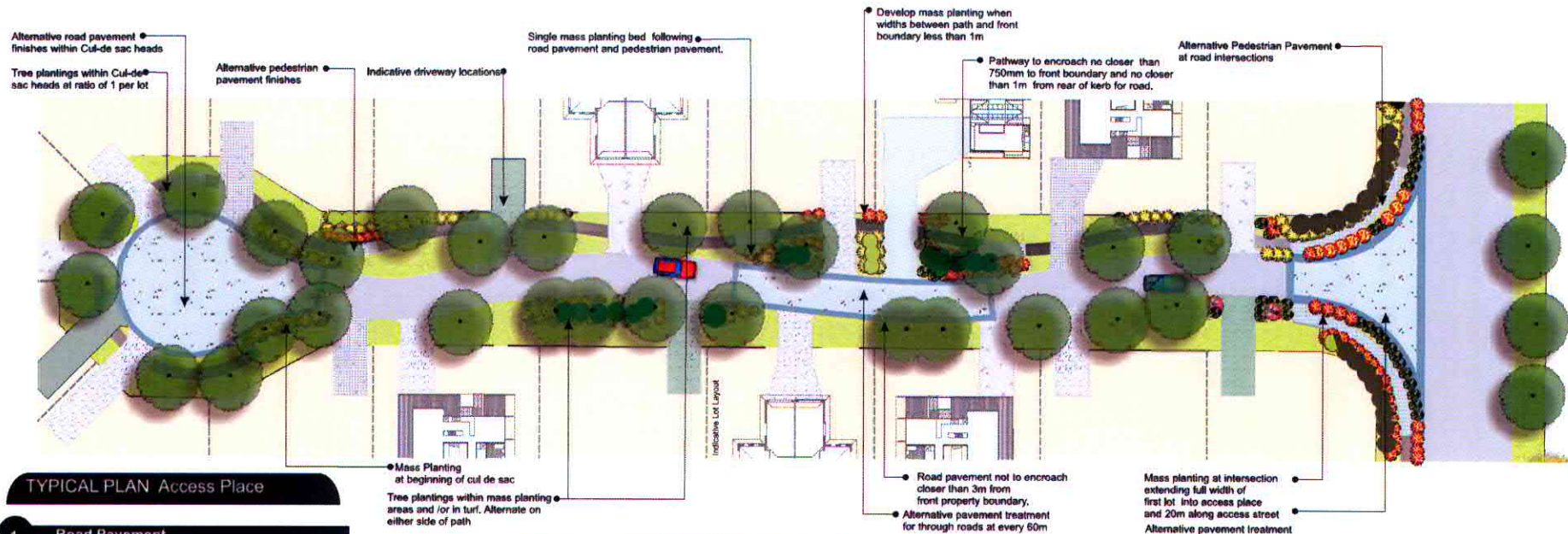
7. Irrigation

- a. All mass planting areas to be irrigated using an automated system.
- b. The system shall be designed in accordance with AS 3500. All systems shall be approved based on compliance to manufacturers recommendations with an approved backflow prevention device if potable supply is used or approved filtration using non potable supply.
- c. The system shall be designed using an inline drip or subsurface system.
- d. Vandal resistant containment shall be incorporated for all critical components.
- e. All drip lines are to be buried at 100mm depth using purpose made lines or as per manufacturers recommendations.
- f. All systems are to be approved based on scaled and accurate drawings.



TYPICAL LAYOUT Access Street

APPENDIX 8—POD 3 - ACCESS PLACE



TYPICAL PLAN Access Place

1. Road Pavement

- a. Road Pavement alignment shall be curvilinear allowing variation in view line. Radii of , plan shall not exceed 80m and not less than 75m.
- b. The road pavement finish shall be varied at 60 m intervals.
- c. The length of the alternative surface finish shall be no less than 10m and no longer than 25m, to the full width of the road.
- d. The road pavement shall be varied at the intersection of all road intersections.
Alternative surface finishes can include:
 - Exposed Aggregate Concrete;
 - Exposed Aggregate Concrete with Oxide;
 - Natural Stone Pavement set in grout; and
 - Or other approved surface finish.
- e. Preference should be given to the use of "roll over kerb".

2. Pedestrian Pavement

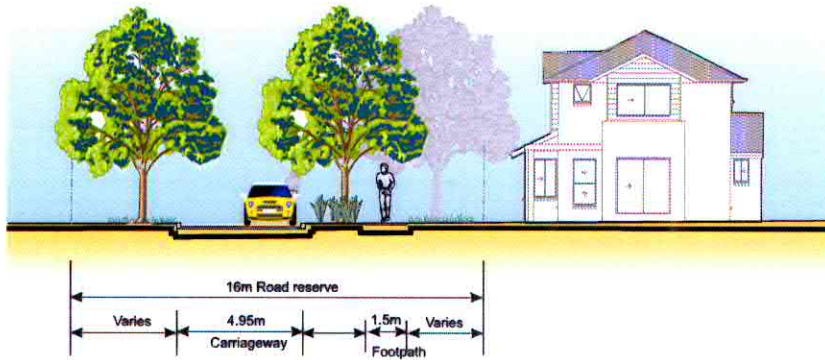
- a. Pedestrian pavement shall be curvilinear 1.5m wide but developed to radii less than that for the road pavement using the following as guides;
 - no closer than 750mm to the front boundary;
 - no closer than 1000mm to the back of kerb and channel;
 - have a radii no less than 50m; and
 - no greater than 55m.
- b. The pavement shall exhibit variation through panels of colour or textural change i.e grinding back should the construction use cast in-situ concrete (*honing*). Such panels would be at a maximum of 25m centres or at intersections of other pedestrian pavements or intersections of other roads. Preference should be given to cast in-situ pavement or fully grouted unit pavements.

- c. All paths shall be designed in accordance to AS 1428.
- d. All paths shall be designed for long term durability.

3. Tree planting

- a. Tree planting shall be undertaken at the average rate of 2 trees per allotment.
- b. Trees to be planted singularly at spacings of between 7 and 9m or in groupings, alternating on each side of the pedestrian path.
- c. Trees to be planted in mass planting beds and trees not located in mass planting beds shall be contained in a mulched collar 1m square.
- d. Selection of species shall be undertaken from the master plant list.
- e. No tree shall be planted closer than 3m from a driveway and no closer than 10 m from a road corner.
- f. No tree shall be planted closer than 1m from back of a durable edge.
- h. Tree planting's shall be no closer than 2m from an electrical/communication pit or water service and 5m from a street light.
- i. Species selection shall be limited to two species per each Access Place, unless otherwise approved.
- k. All tree stock at the time of planting shall have a minimum branch clearance of 1.2m.
- l. Maintain a pedestrian access way of a minimum of 2m.

Definition
Soft landscape - that area that contains no hard pavements such as Pedestrian/Bikeway paths, driveways and roadways.
Mass Planting - Areas of planting having groups of trees, shrubs and groundcovers, defined by an edge and having a mulch cover.



TYPICAL SECTION Access Place

4. Mass planting

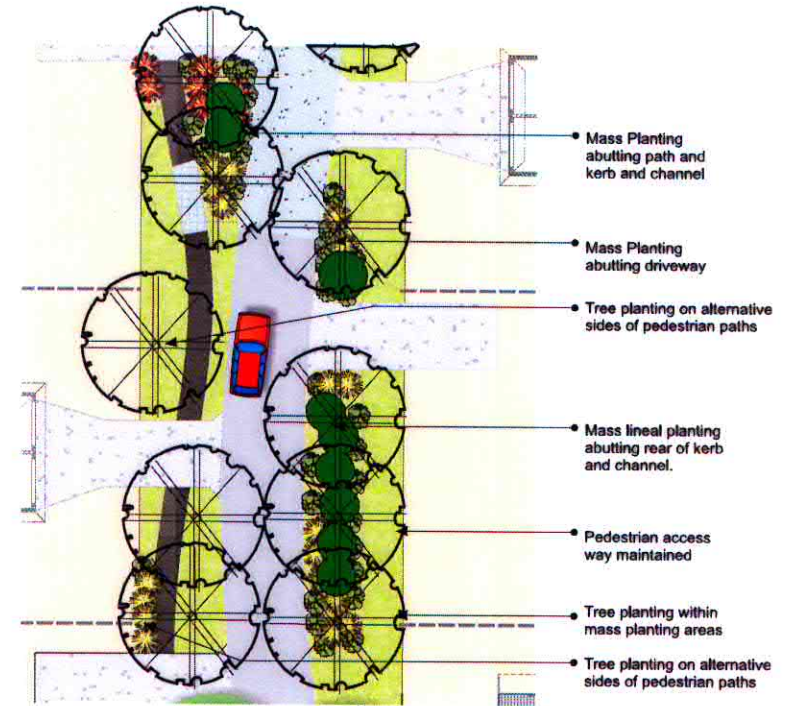
- a. Mass planting (or garden) areas shall make up between 20 and 25% of the soft landscape areas within the road reserve.
- b. Mass planting dimensions shall be as follows:
 - no less than 2m wide;
 - no less than 5m long;
 - or any areas between hard pavements and or property boundaries 1 m and less.
- c. Mass planting areas shall, where no formed pathway exists, be designed to provide for a pedestrian access way of between 1.5 and 2m width.
- d. Mass planting design shall provide for CEPTED 3 overarching criteria;
 - natural surveillance, including vehicular site lines.
 - provide natural access control
 - ensure regard for context and space/growing conditions.
- e. All mass planting areas to be contained within a durable edge such as concrete.
- f. Mass planted areas shall be at planting densities of 2 plants per square metre, using a minimum 140mm stock.
- g. All mass planting to have organic mulch applied to a depth of 100mm. No in-organic mulch (gravels etc.) unless for specific drainage or feature purposes shall be used.

5. Turf

- a. All road reserve areas shall be turfed using A grade material on a prepared base.
- b. Turf to have a minimum 25mm sod.

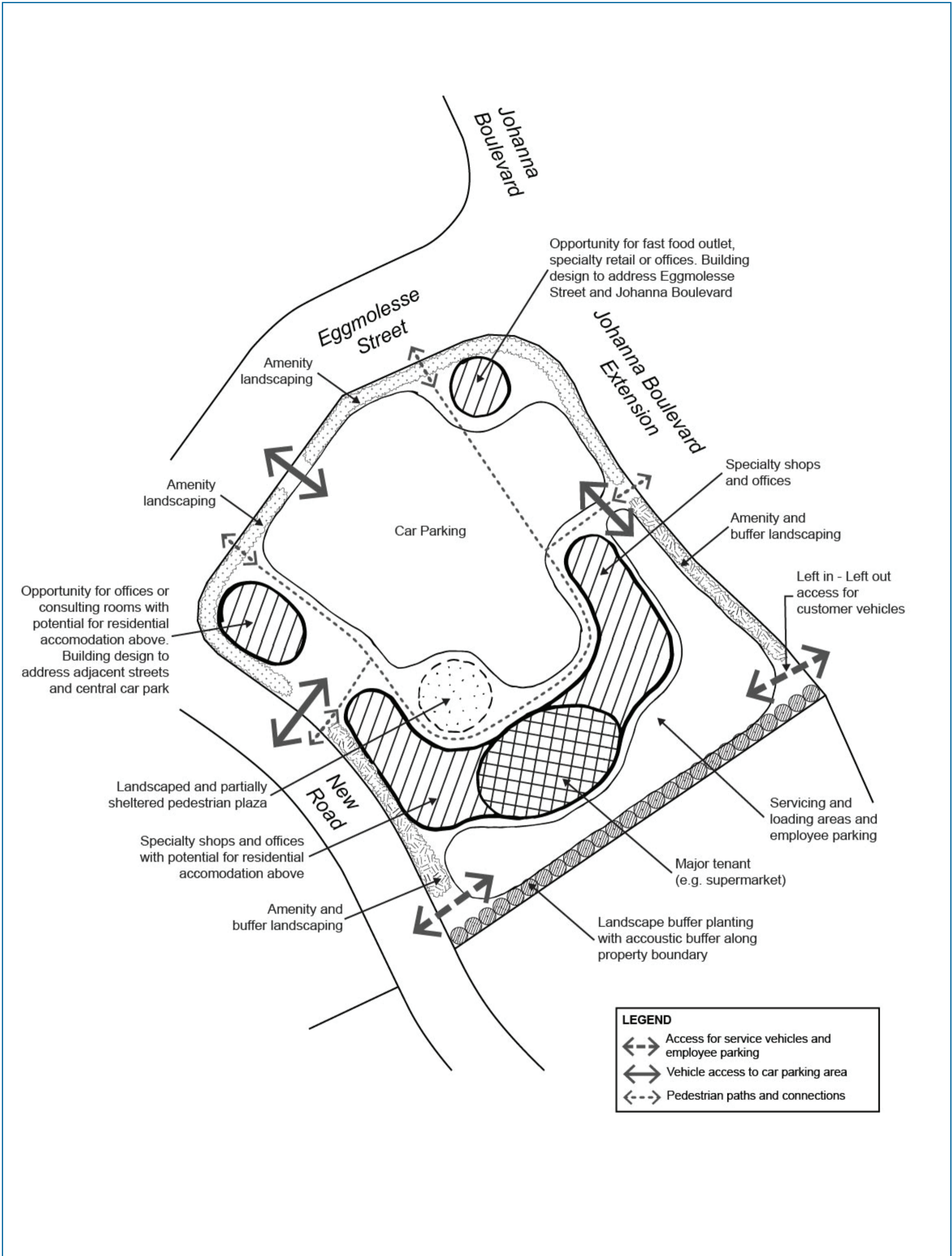
6. Irrigation

- a. All mass planting areas to be irrigated using an automated system.
- b. The system shall be designed in accordance with AS 3500. All systems shall be approved based on compliance to manufacturers recommendations with an approved backflow prevention device if potable supply is used or approved filtration using non potable supply.
- c. The system shall be designed using an inline drip or subsurface system.
- d. Vandal resistant containment shall be incorporated for all critical components.
- e. All drip lines are to be buried at 100mm depth using purpose made lines or as per manufacturers recommendations.
- f. All systems are to be approved based on scaled and accurate drawings.



TYPICAL LAYOUT Access Place

**APPENDIX 9 — POD 3 - VILLAGE
CENTRE CONCEPT
PLAN**



APPENDIX 10—POD 3 - PLANT LISTS

Trees & Palms

Neighbourhood and Pocket Parks
 Natural and Conservation
 Linear Passive Recreational Park
 Edges and Buffers
 Street Trees

Trees and Palms	Common Name	Neighbourhood and Pocket Parks	Natural and Conservation	Linear Passive Recreational Park	Edges and Buffers	Street Trees
ACMENA smithii	"Lilly Pilly"					
AGATHIS robusta	"Kauri Pine"					
ALLOCASURINA littoralis	"Black She Oak"					
ANGOPHERA floribunda	"Rough-Barked Apple"					
ARAGAURIA heterophylla	"Norfolk Pine"					
ARACAUARIA cunninghamii	"Hoop Pine"					
BRACHYCHITON acerfolius	"Flame Tree"					
CASTANOSPERMUM australe	"Black Bean"					
CORYMBIA citriodora	"Spotted Gum"					
CORYMBIA intermedia	"Pink Bloodwood"					
CORYMBIA tessellaris	"Moreton Bay Ash"					
CUPANIOPSIS anarcardiodes	"Tuckeroo Tree"					
DELONIX regia	"Poinciana"					
DIPLOGLOTTIS campbellii	"Small Leaved Tamarind"					
ELEOACARPUS reticulatus	"Blueberry Ash"					
ELEOACARPUS grandis	"Blue Quandong"					
EUCALYPTUS propinqua	"Small Fruited Grey Gum"					
EUCALYPTUS teriticornis	"Blue Gum"					
EUCALYPTUS microcorys	"Tallowwood"					
FICUS benjamina	"Weeping Fig"					
FICUS hillii	"Hills Weeping Fig"					
FLINDERSIA australis	"Crows Ash"					
FLINDERSIA brayleyana	"Queensland Maple"					
GREVILLEA braileyana	"White Oak"					
GREVILLEA robusta	"Silky Oak"					
HARPULLIA pendula	"Tulipwood"					
JACARANDA mimosifolia	"Jacaranda"					
LIVISTONIA australis	"Cabbage Palm"					
LOPHOSTEMON confertus	"Brush Box"					
LOPHOSTEMON saueolens	"Swamp Box"					
MELALEUCA leucadendron	"Fine Leaved Paperbark"					
MELALEUCA quinquenervia	"Paperbark Tea-Tree"					
PELTOPHORUM pterocarpum	"Yellow Poinciana"					
PHOENIX canariensis	"Canary Island Date Palm"					
PLUMERIA rubra	"Frangipani"					
SYZYGIUM jambos	"Rose Apple"					
SYZYGIUM olesum	"Blue Cherry"					
SYZYGIUM leuhmanii	"Small Leaved Lilly Pilly"					
TABEBUIA chrysantha	"Golden Trumpet Tree"					
TABEBUIA rosea	"Pink Trumpet Tree"					
WATERHOUSIA floribunda	"Weeping Lilly Pilly"					
XANTHOSTEMON chysanthos	"Golden Penda"					



Poinciana



Golden Penda



Frangipani



Flame Tree



Canary Island Date Palm



Norfolk Pine

JOHANNA BOULEVARD, BUNDABERG

KENSINGTON MASTER PLANNED COMMUNITY PLANT PALETTE

P1502.DWG.010 (a)

Shrubs

Trees and Palms	Common Name	Neighbourhood and Pocket Parks	Natural and Conservation	Linear Passive Recreational Park	Edges and Buffers	Streetscape
ACMENA smithii minor	"Lilly Lilly"					
AUSTROMYRTUS dulcis	"Midyim"					
ARDISIA crenata	"Coral Berry"					
BAEKEA frutescens	"Weeping Baekea"					
BAEKEA virgata	"Baekea"					
BAMBUSA multiplex varities	"Dwarf Bamboo"					
BANKSIA spinulosa var collina	"Golden Candlesticks"					
BANKSIA robur	"Swamp Banksia"					
CALLISTEMON cv 'Candy Pink'	"Candy Pink"					
CALLISTEMON cv 'Little John'	"Little John"					
CALLISTEMON cv 'Wild Fire'	"Wild Fire"					
CALLISTEMON viminalis	"Bottle Brush"					
CORDYLINÉ fiji	"Fiji"					
CORDYLINÉ rubra	"Palm Lilly"					
CORDYLINÉ peterolaris	"Large Leaved Palm Lilly"					
CROTON cultivars	"Croton"					
DORYANTHES palmeri	"Spear Lilly"					
EUPHORBIA pulcherrima	"Christmas"					
GARDENIA cultivars	"Gardenia"					
GREVILLEA cultivars	"Grevillea"					
HAKEA florulenta	"Hakea"					
HELLICONIA var	"Helliconia"					
HIBISCUS cultivars	"Hibiscus"					
HOVEA acutifolia	"Pointed-Leaved-Hovea"					
IXORA chinensis	"Prince of Orange"					
JACKSONIA scorparia	"Dogwood"					
LEPTOSPERMUM polygalifolium	"Tea-Tree"					
LEPTOSPERMUM petersonii	"Lemon Scented Tea-Tree"					
MACARANGA tanarius	"Macaranga"					
MURRAYA paniculata	"Murraya"					
MELALEUCA thymifolia	"Thyme Honey Myrtle"					
METEROSIDEROS thomasii	"Metrosideros"					
METEROSIDEROS excoata	"Metrosideros"					
PITOSPORUM 'Miss Muffet'	"Miss Muffet"					
PHORIUM tenax	"Phorium"					
PHYLANTHUS minuta	"Phyllanthus"					
RAPHIOLEPSIS fergudonii	"Raphiolepis"					
SCHEFFLERA arboricola	"N.Z Umbrella"					
STRELITZIA reginae	"Bird of Paradise"					
SYZYGIUM australis cultivars	"Dwarf Lilly Pillys"					
SYZYGIUM paniculata	"Bush Cherry"					
SYZYGIUM wilsonii	"Syzygium"					
WESTRINGIA blakeana	"Westringia"					
WESTRINGIA eremicola	"Westringia"					
WESTRINGIA fruticosa	"Coastal Rosemary"					
XANTHORREA johnsonii	"Grass Tree"					



Grevillea spp



Cordyline spp



Bird of Paradise



Banksia spp



Metrosideros spp



Helliconia



Syzygium spp



Grass Tree

JOHANNA BOULEVARD, BUNDABERG

KENSINGTON MASTER PLANNED COMMUNITY
PLANT PALETTE

P1502.DWG.010 (b)

Groundcovers & Grasses

Trees and Palms	Common Name	Neighbourhood and Pocket Parks	Natural and Conservation	Linear Passive Recreational Park	Edges and Buffers	Streetscape
AGAPANTHUS spp	"Agapanthus"					
AGAVE attenuata	"Agave"					
ALLAMANDA carthatica SCHOTTII	"Allamanda"					
BOUGANVILLEA spp	"Dwarf Bouganvillea"					
DIANELLA spp	"Flax Lily"					
DIETIES bicolour	"Dieties"					
EVOLVUS pilosis	"Evolvus"					
CISSUS rhombifolia ELLEN DANICA	"Cissus"					
ERIGERON karvinskianus	"Seaside Daisy"					
CRINUM pedunculatum	"Swamp Lily"					
GAHNIA aspera	"Sword Grass"					
GREVILLEA 'Royal Mantle'	"Royal Mantle"					
HIBBERTIA scandens	"Guinea Flower"					
HYMENOCALLIS littoralis	"Spider Lily"					
IMPERATA cylindrica	"Blady Grass"					
ISOLEPIS spp	"Sedge"					
JUNCUS spp	"Rush"					
LEPTOSPERMUM flavescens var	"Pink Cascade"					
LIRIOPE spp	"Liriope"					
LOMANDRA spp	"Lomandra"					
MYOPORUM ellipticum	"Myoporum"					
OPHIPOGON japonicus	"Mondo Grass"					
PANDOREA jasminoides	"Pandorea"					
RHOEO spp	"Rhoeo"					
THEMEDA trianda	"Kangaroo Grass"					
TRACHELOSPERMUM jasminoides	"Variegated Jasmine"					
VIOLA hederacea	"Native Violet"					



Swamp Lily



Juncus



Pig Face



Dianella



Guinea Flower



Native Violet



Cordylina spp



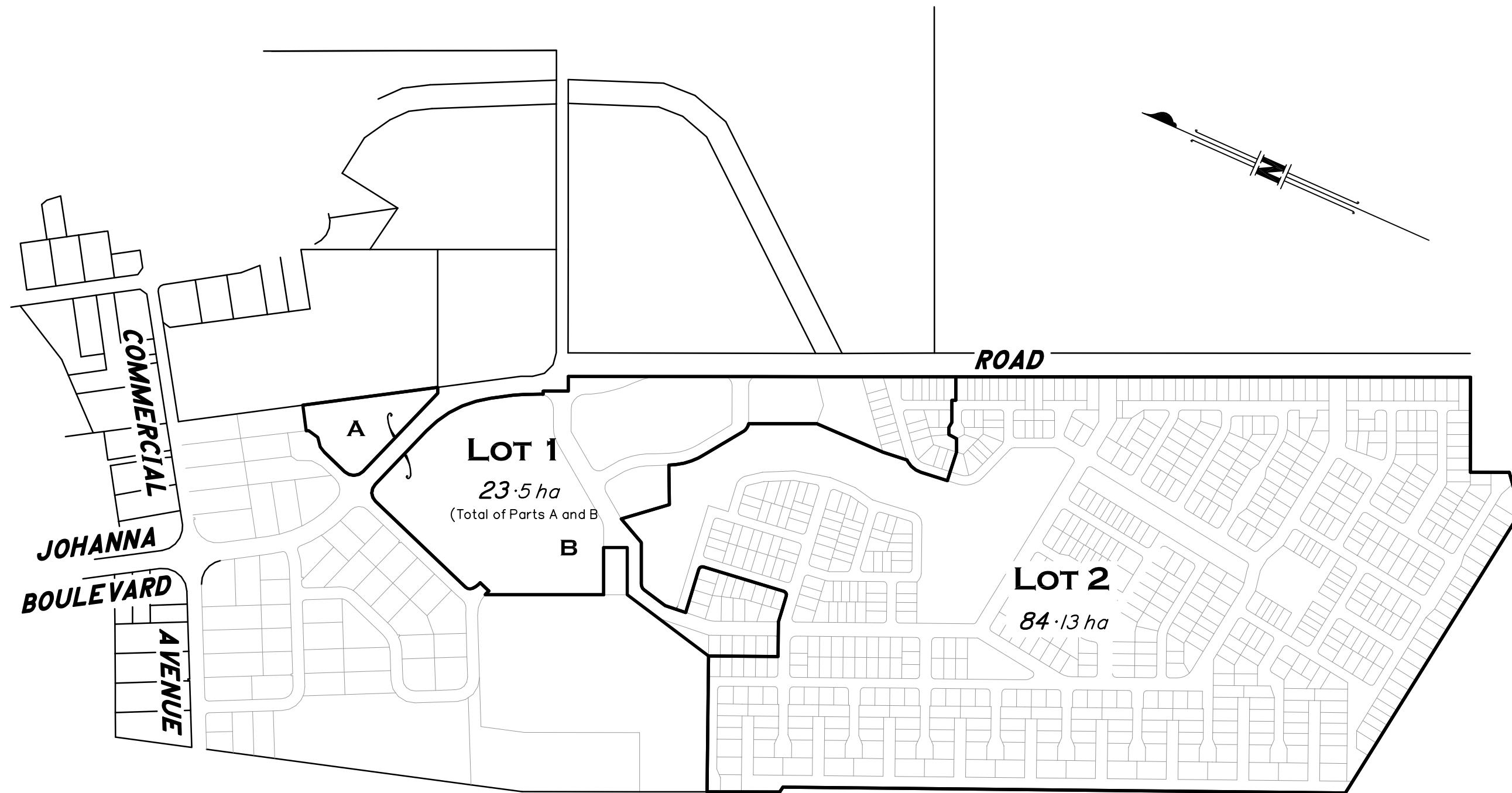
Sword Grass

JOHANNA BOULEVARD, BUNDABERG

KENSINGTON MASTER PLANNED COMMUNITY PLANT PALETTE

P1502.DWG.010 (c)

**APPENDIX 11—POD 3 - PRECINCT
METES AND BOUNDS**



NOTES :
 1. ALL BOUNDARIES SHOWN ON THIS PLAN ARE SUBJECT TO FINAL SURVEY.

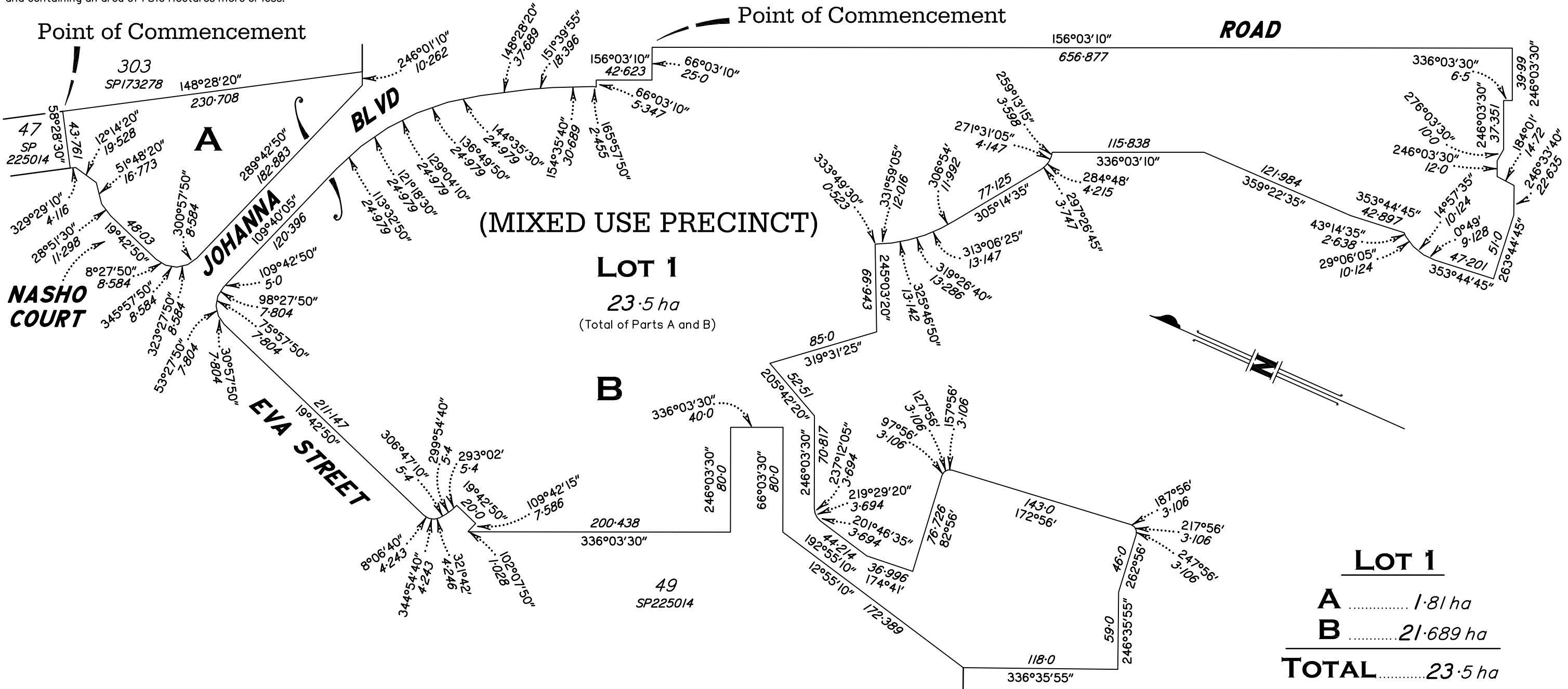
PROPERTY DESCRIPTION
 LOT 50 ON SP291184
 LOCALITY OF KENSINGTON
 BUNDABERG REGIONAL COUNCIL

LIST OF DRAWINGS
 01- KEY PLAN & LIST OF DRAWINGS
 02- METES AND BOUNDS PLAN : LOT 1
 03- METES AND BOUNDS PLAN : LOT 2

METES & BOUNDS KEY PLAN

METES AND BOUNDS DESCRIPTION OF LOT 1 PART A

Commencing at a point being the north corner of Lot 50 on SP291184 and thence on a bearing of 148°28'20" for a distance of 230.708 metres, on a bearing of 246°01'10" for a distance of 10.262 metres, on a bearing of 289°42'50" for a distance of 182.883 metres, on a bearing of 300°57'50" for a distance of 8.584 metres, on a bearing of 323°27'50" for a distance of 8.584 metres, on a bearing of 345°57'50" for a distance of 8.584 metres, on a bearing of 8°27'50" for a distance of 8.584 metres, on a bearing of 19°42'50" for a distance of 48.03 metres, on a bearing of 28°51'30" for a distance of 11.298 metres, on a bearing of 51°48'20" for a distance of 16.773 metres, on a bearing of 12°14'20" for a distance of 19.528 metres, on a bearing of 329°29'10" for a distance of 4.116 metres, on a bearing of 58°28'30" for a distance of 43.761 metres, to the point of commencement, and containing an area of 1.810 Hectares more or less.



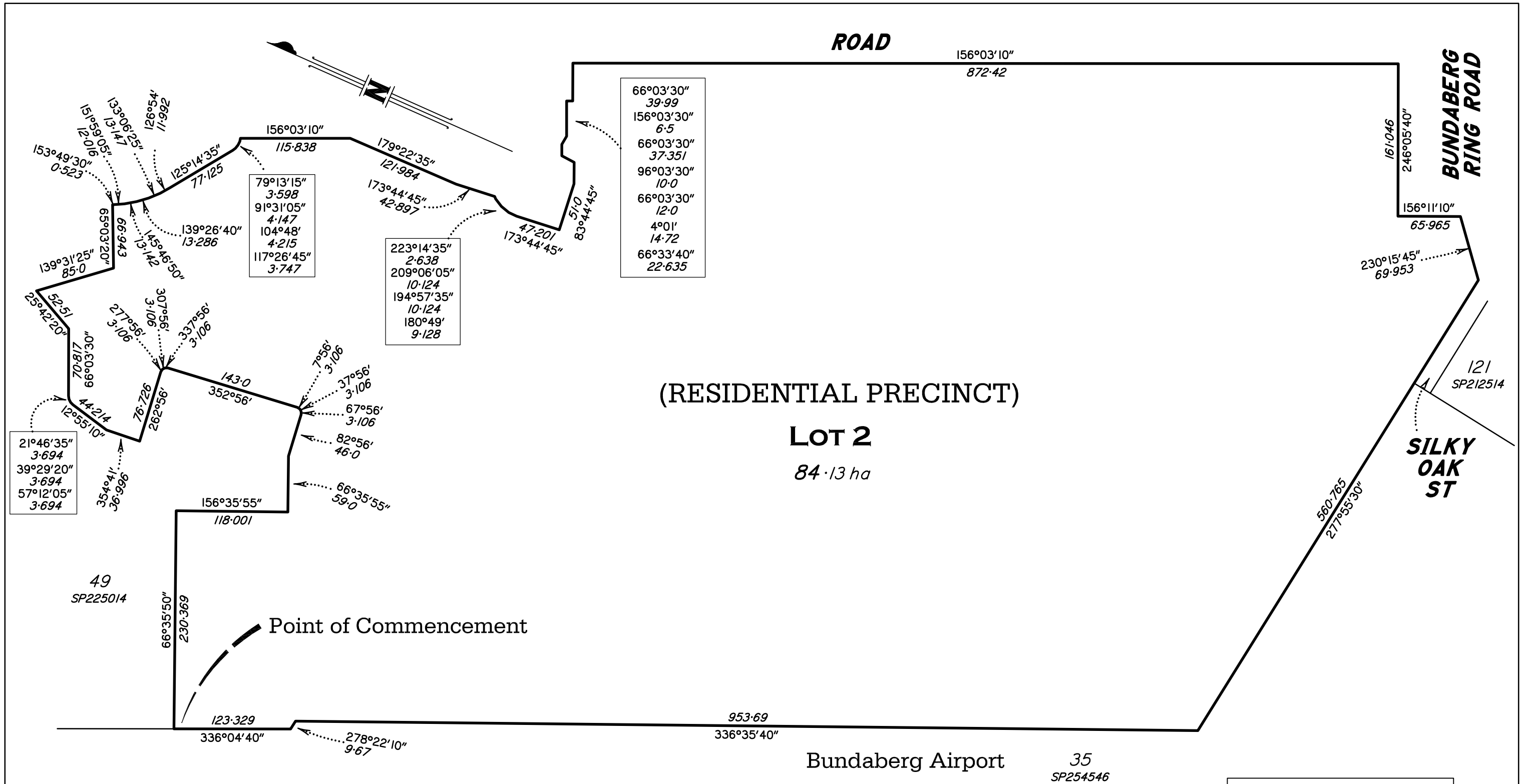
METES AND BOUNDS DESCRIPTION OF LOT 1 PART B

Commencing at a point at a north east corner of lot 50 on SP291184 being station B on SP291184 and thence on a bearing of 156°03'10" for a distance of 656.877 metres, on a bearing of 246°03'30" for a distance of 39.99 metres, on a bearing of 336°03'30" for a distance of 6.5 metres, on a bearing of 246°03'30" for a distance of 37.351 metres, on a bearing of 276°03'30" for a distance of 10.0 metres, on a bearing of 246°03'30" for a distance of 12.0 metres, on a bearing of 184°01' for a distance of 14.72 metres, on a bearing of 246°33'40" for a distance of 22.635 metres, on a bearing of 263°44'45" for a distance of 51.0 metres, on a bearing of 353°44'45" for a distance of 47.201 metres, on a bearing of 0°49' for a distance of 9.128 metres, on a bearing of 14°57'35" for a distance of 10.124 metres, on a bearing of 29°06'05" for a distance of 10.124 metres, on a bearing of 43°14'35" for a distance of 2.638 metres, on a bearing of 353°44'45" for a distance of 42.897 metres, on a bearing of 359°22'35" for a distance of 121.984 metres, on a bearing of 336°03'10" for a distance of 115.838 metres, on a bearing of 259°13'15" for a distance of 3.598 metres, on a bearing of 271°31'05" for a distance of 4.147 metres, on a bearing of 284°48' for a distance of 4.215 metres, on a bearing of 297°26'45" for a distance of 3.747 metres, on a bearing of 305°14'35" for a distance of 77.125 metres, on a bearing of 306°54' for a distance of 11.992 metres, on a bearing of 313°06'25" for a distance of 13.147 metres, on a bearing of 319°26'40" for a distance of 13.286 metres, on a bearing of 325°46'50" for a distance of 13.142 metres, on a bearing of 331°59'05" for a distance of 0.523 metres, on a bearing of 245°03'20" for a distance of 66.943 metres, on a bearing of 319°31'25" for a distance of 85.0 metres, on a bearing of 205°42'20" for a distance of 52.51 metres, on a bearing of 246°03'30" for a distance of 70.817 metres, on a bearing of 237°12'05" for a distance of 3.694 metres, on a bearing of 219°29'20" for a distance of 3.694 metres, on a bearing of 201°46'35" for a distance of 3.694 metres, on a bearing of 192°55'10" for a distance of 44.214 metres, on a bearing of 174°41' for a distance of 36.996 metres, on a bearing of 82°56' for a distance of 76.726 metres, on a bearing of 97°56' for a distance of 3.106 metres, on a bearing of 127°56' for a distance of 3.106 metres, on a bearing of 157°56' for a distance of 3.106 metres, on a bearing of 172°56' for a distance of 143.0 metres, on a bearing of 187°56' for a distance of 3.106 metres, on a bearing of 217°56' for a distance of 3.106 metres, on a bearing of 247°56' for a distance of 3.106 metres, on a bearing of 262°56' for a distance of 46.0 metres, on a bearing of 246°35'55" for a distance of 59.0 metres, on a bearing of 336°35'55" for a distance of 118.0 metres, on a bearing of 12°55'10" for a distance of 172.389 metres, on a bearing of 66°03'30" for a distance of 80.0 metres, on a bearing of 336°03'30" for a distance of 40.0 metres, on a bearing of 246°03'30" for a distance of 80.0 metres, on a bearing of 102°07'50" for a distance of 1.028 metres, on a bearing of 109°42'15" for a distance of 7.586 metres, on a bearing of 19°42'50" for a distance of 20.0 metres, on a bearing of 293°02' for a distance of 5.4 metres, on a bearing of 299°54'40" for a distance of 5.4 metres, on a bearing of 321°42' for a distance of 4.246 metres, on a bearing of 344°54'40" for a distance of 4.243 metres, on a bearing of 8°06'40" for a distance of 4.243 metres, on a bearing of 19°42'50" for a distance of 211.147 metres, on a bearing of 30°57'50" for a distance of 7.804 metres, on a bearing of 53°27'50" for a distance of 7.804 metres, on a bearing of 75°57'50" for a distance of 7.804 metres, on a bearing of 98°27'50" for a distance of 7.804 metres, on a bearing of 109°42'50" for a distance of 5.0 metres, on a bearing of 109°40'05" for a distance of 120.396 metres, on a bearing of 113°32'50" for a distance of 24.979 metres, on a bearing of 121°18'30" for a distance of 24.979 metres, on a bearing of 129°04'10" for a distance of 24.979 metres, on a bearing of 136°49'50" for a distance of 24.979 metres, on a bearing of 144°35'30" for a distance of 24.979 metres, on a bearing of 148°28'20" for a distance of 37.689 metres, on a bearing of 151°39'55" for a distance of 18.396 metres, on a bearing of 154°35'40" for a distance of 30.689 metres, on a bearing of 165°57'50" for a distance of 2.455 metres, on a bearing of 66°03'10" for a distance of 5.347 metres, on a bearing of 156°03'10" for a distance of 42.623 metres, on a bearing of 66°03'10" for a distance of 25.0 metres, to the point of commencement, and containing an area of 21.689 Hectares more or less.

NOTES :
1. ALL BOUNDARIES SHOWN ON THIS PLAN ARE SUBJECT TO FINAL SURVEY.

PROPERTY DESCRIPTION
LOT 50 ON SP291184
LOCALITY OF KENSINGTON
BUNDABERG REGIONAL COUNCIL

METES & BOUNDS PLAN
MIXED USE PRECINCT
LOT 1 PARTS A AND B



METES AND BOUNDS DESCRIPTION OF LOT 2 (RESIDENTIAL PRECINCT)

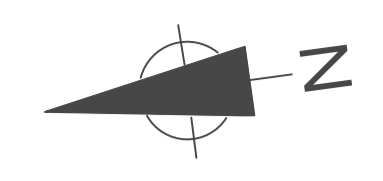
Commencing at a point being the south corner of lot 49 on SP225014 and thence on a bearing of 66°35'50" for a distance of 230.369 metres, on a bearing of 156°35'55" for a distance of 118.001 metres, on a bearing of 66°35'55" for a distance of 59.0 metres, on a bearing of 82°56' for a distance of 46.0 metres, on a bearing of 67°56' for a distance of 3.106 metres, on a bearing of 37°56' for a distance of 3.106 metres, on a bearing of 7°56' for a distance of 3.106 metres, on a bearing of 352°56' for a distance of 143.0 metres, on a bearing of 337°56' for a distance of 3.106 metres, on a bearing of 307°56' for a distance of 3.106 metres, on a bearing of 277°56' for a distance of 3.106 metres, on a bearing of 262°56' for a distance of 76.726 metres, on a bearing of 354°41' for a distance of 36.996 metres, on a bearing of 12°55'10" for a distance of 44.214 metres, on a bearing of 21°46'35" for a distance of 3.694 metres, on a bearing of 39°29'20" for a distance of 3.694 metres, on a bearing of 57°12'05" for a distance of 3.694 metres, on a bearing of 66°03'30" for a distance of 70.817 metres, on a bearing of 25°42'20" for a distance of 52.51 metres, on a bearing of 139°31'25" for a distance of 85.0 metres, on a bearing of 65°03'20" for a distance of 66.943 metres, on a bearing of 153°49'30" for a distance of 0.523 metres, on a bearing of 151°59'05" for a distance of 12.016 metres, on a bearing of 145°46'50" for a distance of 13.142 metres, on a bearing of 139°26'40" for a distance of 13.286 metres, on a bearing of 133°06'25" for a distance of 13.147 metres, on a bearing of 126°54' for a distance of 11.992 metres, on a bearing of 125°14'35" for a distance of 77.125 metres, on a bearing of 117°26'45" for a distance of 3.747 metres, on a bearing of 104°48' for a distance of 4.215 metres, on a bearing of 91°31'05" for a distance of 4.147 metres, on a bearing of 79°13'15" for a distance of 3.598 metres, on a bearing of 156°03'10" for a distance of 115.838 metres, on a bearing of 179°22'35" for a distance of 121.984 metres, on a bearing of 173°44'45" for a distance of 42.897 metres, on a bearing of 223°14'35" for a distance of 2.638 metres, on a bearing of 209°06'05" for a distance of 10.124 metres, on a bearing of 194°57'35" for a distance of 10.124 metres, on a bearing of 180°49' for a distance of 9.128 metres, on a bearing of 173°44'45" for a distance of 47.201 metres, on a bearing of 83°44'45" for a distance of 51.0 metres, on a bearing of 66°33'40" for a distance of 22.635 metres, on a bearing of 4°01' for a distance of 14.72 metres, on a bearing of 66°03'30" for a distance of 12.0 metres, on a bearing of 96°03'30" for a distance of 10.0 metres, on a bearing of 66°03'30" for a distance of 37.351 metres, on a bearing of 156°03'30" for a distance of 6.5 metres, on a bearing of 156°03'10" for a distance of 872.42 metres, on a bearing of 246°05'40" for a distance of 161.046 metres, on a bearing of 156°11'10" for a distance of 65.965 metres, on a bearing of 230°15'45" for a distance of 69.953 metres, on a bearing of 277°55'30" for a distance of 560.765 metres, on a bearing of 336°35'40" for a distance of 953.69 metres, on a bearing of 278°22'10" for a distance of 9.67 metres, on a bearing of 336°04'40" for a distance of 123.329 metres, to the point of commencement, and containing an area of 84.13 Hectares more or less.

NOTES :
 1. ALL BOUNDARIES SHOWN ON THIS PLAN ARE SUBJECT TO FINAL SURVEY.

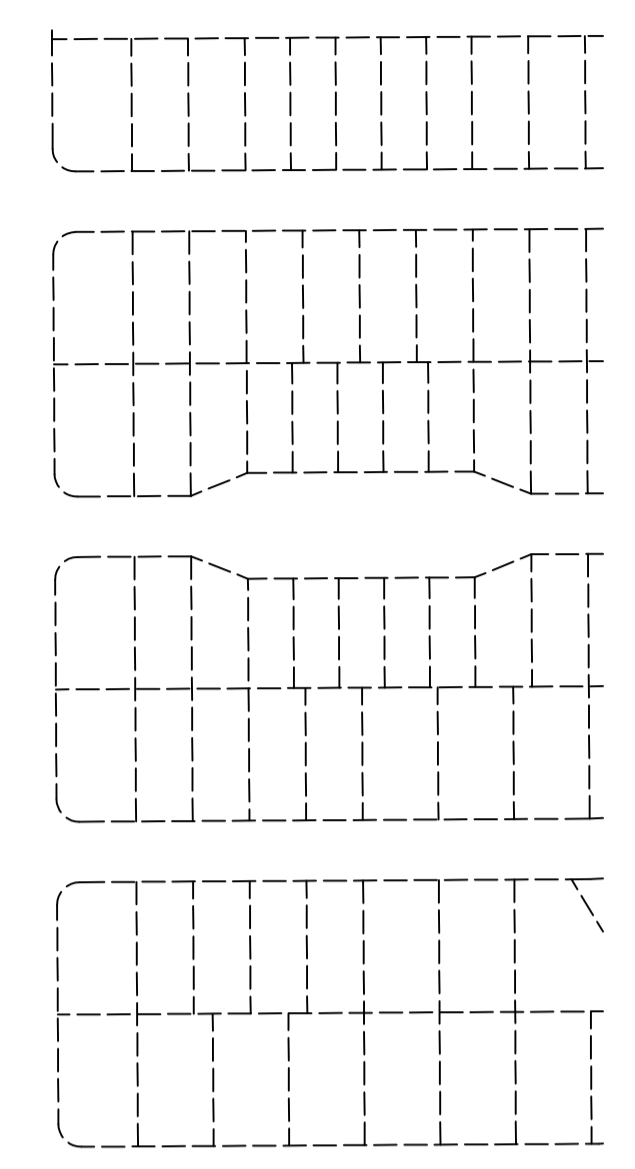
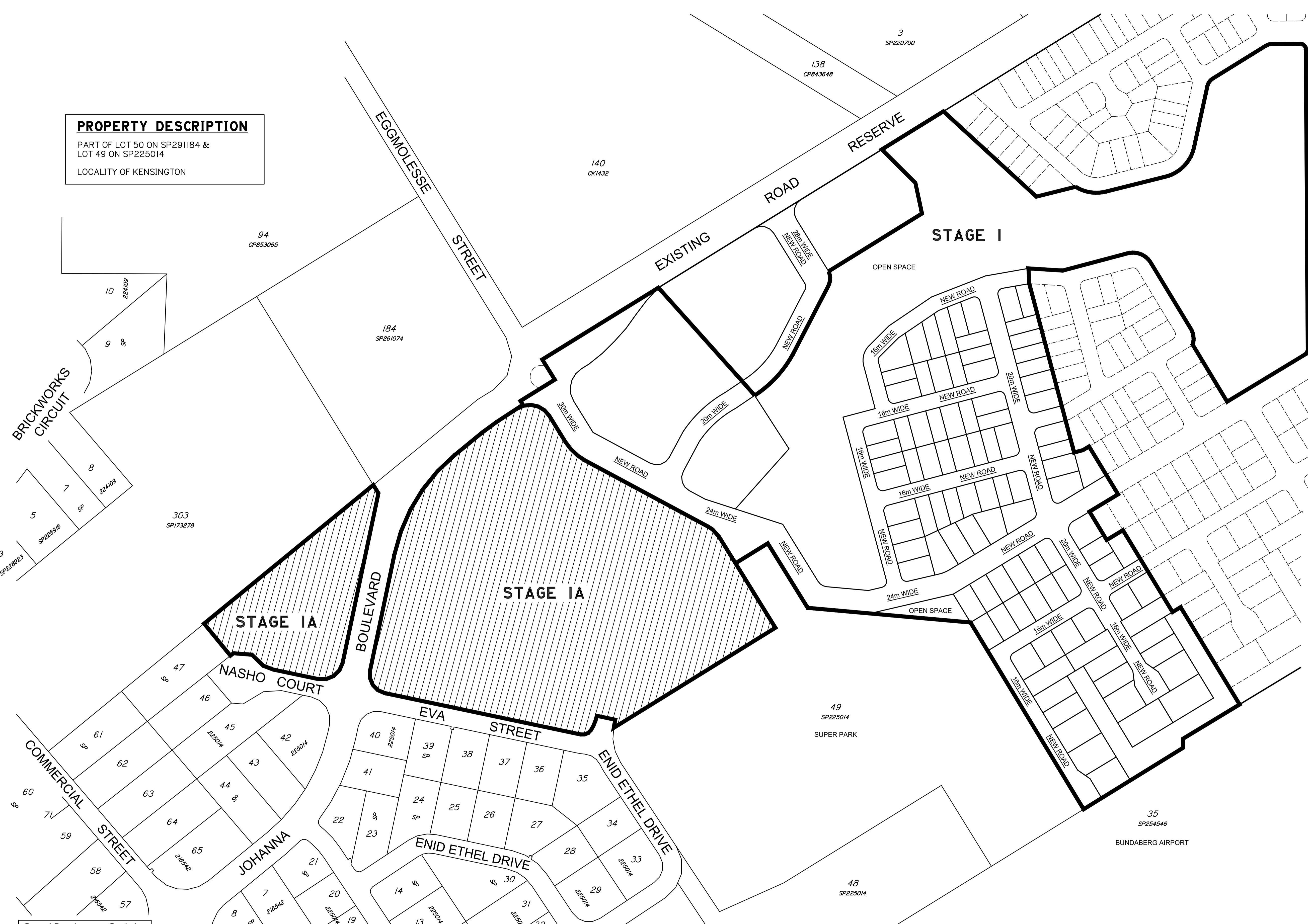
PROPERTY DESCRIPTION
 LOT 50 ON SP291184
 LOCALITY OF KENSINGTON
 BUNDABERG REGIONAL COUNCIL

**METES & BOUNDS PLAN
 RESIDENTIAL PRECINCT
 LOT 2**

**APPENDIX 12—POD 3 - STAGING
PLAN**



PROPERTY DESCRIPTION
 PART OF LOT 50 ON SP291184 &
 LOT 49 ON SP225014
 LOCALITY OF KENSINGTON



FUTURE DEVELOPMENT

Notes
 This plan has been prepared by DTS as a proposal plan and should not be used for any other purpose. The information contained on this plan is approximate only, has not been verified and may be subject to change. The intellectual property on this plan remains the property of DTS.

Issue	Revision	Int	Date
A	Original Issue	AV	26/02/18
B	Removed road from Superpark	AV	18/09/19

LEGEND
 - Stage Boundary

Address: Kensington Parkside Estate
 Eva St. Kensington
 Plan of: STAGE 1 AND 1A PRELIMINARY RECONFIGURATION PLAN
 RPD: LOT 50 ON SP291184
 SHEET 1 OF 1
 LOCAL AUTHORITY BUNDABERG REGIONAL COUNCIL
 Client: Pressler Properties

dts urban planning, surveying & development
 Brisbane PO Box 3128, West End QLD 4101
 Ph: 07 3138 0909
 brisbane@dtsqld.com.au
 Macray PO Box 11711, Mackay Central QLD 4740
 Ph: 1300 278 765
 macray@dtsqld.com.au

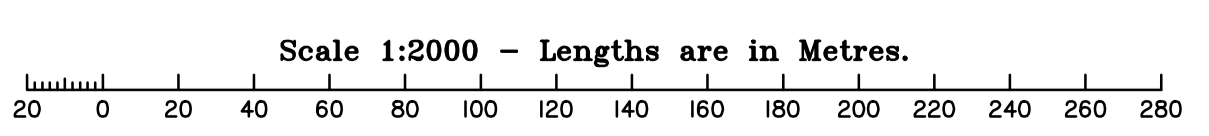
Date: 18/09/2019 Scale: 1:2000 @ A1
 Drawn: AV Design: GW
 Drawing File: B170765P1.dwg Project No: BNE170765
 Drawing No: A1 1222 Revision: B

Stage I Development Statistics

Total Area of Stage	26.918 Ha
Number of Mixed Use Lots	2
Number of Residential Lots	99
Number of Open Space Lots	2
Average Residential Lot Area	723m ²
Area of Open Space	11.127 Ha
Length of New Road	
16.0m Wide	1253m
20.0m Wide	665m
24.0m Wide	552m
28.0m Wide	84m
30.0m Wide	170m

Stage IA Development Statistics

Total Area of Stage	11.123 Ha
Total Number of Lots	2
Average Lot Area	-
Area of Open Space	-
Length of New Road	
16.0m Wide	0m
20.0m Wide	0m
24.0m Wide	0m
28.0m Wide	0m
30.0m Wide	0m



PROPOSED SUBDIVISION LAYOUT PLAN
SHEET 1 OF 1